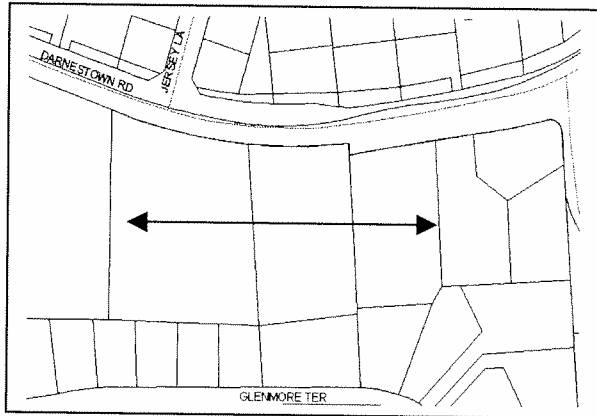


**CITY OF ROCKVILLE
COMMUNITY PLANNING & DEVELOPMENT SERVICES DEPARTMENT
STAFF REPORT**

TO: Planning Commission and
Mayor and Council

FROM: Jim Wasilak,
Chief of Planning
Bobby Ray, Principal Planner

PLANNER: Margaret Hall, Planner II



DATE: October 14, 2009: Planning Commission Review and Recommendation
November 23, 2009: Mayor and Council Public Hearing

SUBJECT: Project Plan Application PJT2009-00001, Kol Shalom Synagogue
9104, 9110 and 9150 Darnestown Road

RECOMMENDATION: Approval, subject to the conditions noted.

REQUEST: The applicant has submitted an application for a Project Plan pursuant to Section 25.07.08 of the Zoning Ordinance. The Project Plan application is to allow development of a 30,379 square foot, single-story synagogue (house of worship), including space for religious classes (9 classrooms proposed), administrative functions and receptions. The subject site consists of three properties totaling 4.812-acres in size and is located on the south side of Darnestown Road between Glenora Lane (west) and Dav Road (east). The site is currently vacant having been previously occupied by three single-family dwellings. The residential dwellings were demolished in 2007.

The proposed building is placed on the eastern side of the property, with the parking to the west side. The placement of the parking lot was dictated by the applicant's effort to save an existing fifty-inch diameter white oak tree on the property. The on-site parking provided complies with the requirements of the Zoning Ordinance.

Surrounding Land Use and Zoning			
Location	Zoning	Planned Land Use	Existing Use
North	PD-FG, Planned Development- Fallsgrove	Comprehensive Planned Development	Residential
South	R-90, Single Unit Detached Dwelling, Restricted Residential	Detached Residential (Medium Density 2.5 to 4 Units Per Acre	Residential
East	R-90, Single Unit Detached Dwelling, Restricted Residential	Detached Residential (Medium Density 2.5 to 4 Units Per Acre	Residential
West	R-200, Suburban Residential	Detached Residential (Low Density Less Than 2.5 Units Per Acre)	Residential

PREVIOUS RELATED ACTIONS:

- September 24, 2008 – Pre-Application Area Meeting
- March 4, 2009 – Pre-Application Submittal
- March 26, 2009 – Pre-Application meeting with Development Review Committee (DRC)
- June 3, 2009 – Project Plan Application Submittal
- July 9, 2009 – Application Review with DRC
- July 9, 2009 - Post Application Area Meeting
- July 22, 2009 – Project Briefing with Planning Commission
- July 27, 2009 – Project Briefing with City Council
- September 3, 2009 – Application Review with DRC (1st Revision)

ANAYLSIS:

Master Plan recommendation:

There is no specific recommendation made for these properties in the Comprehensive Master Plan. Two of the properties, 9150 and 9110 Darnestown Road, were in the midst of Annexation proceedings while the Master Plan was under review. By the time the Master Plan was adopted, the properties had been annexed but the Master Plan did not reflect the recently completed annexations. Previously approved development applications on the properties include an Alzheimer's facility, a day school and a residential subdivision.

Zoning Compliance:

A place of worship, a synagogue, is a permitted use in the R-200 Zone. Although approval of the final site layout will become the subject of a Level Two Site Plan Application, the site plan included in this application reflects a project that is in compliance with the Zoning Ordinance. The site plan includes adequate parking to support the use. The proposed building meets or exceeds all the required setbacks, does not exceed the maximum lot coverage limitation of 25 percent and is well below the maximum height limitation of 40 feet. Impervious surface improvements in the front yard are also well below the 25 percent maximum allowed.

Forest / Tree Preservation and Landscaping

The Preliminary Forest Conservation Plan (FCP) for Kol Shalom was approved on September 24, 2009. The project proposes to meet forest conservation requirements on-site through the preservation of existing forest, reforestation/afforestation tree planting, critical root zone protection credit, and the planting of individual landscape trees. Forest preservation, reforestation/afforestation and supplemental tree planting will provide a buffer between the site and the surrounding single family lots along the southern and eastern property lines. Additional tree planting is proposed along the western property line where a pre-application for an assisted living facility has been filed.

The total forest conservation requirement for the site is 1.04 acres and consists of a reforestation requirement of 0.48 acres, for clearing 0.16 acres of the 0.35 acres of forest on site coupled with an afforestation requirement of 0.56 acres to meet the 20% afforestation threshold. Just over half, or 0.19 acres of the 0.35 acres of forest on site, will be preserved along a section of the southern property line and an additional 0.73 acres of reforestation/afforestation tree planting is provided along the southern and eastern property lines. Critical root zone (CRZ) credit of 0.10 acres will be given for the preservation of 76% of the CRZ for the 52" DBH

(diameter at breast height) specimen white oak tree located in the southwestern property corner. The remaining forest conservation requirement of 0.21 acres will be met through the planting of 8 shade trees around the parking lot and 15 street trees along Darnestown Road.

The applicant will be required to record a Forest Conservation Easement (FCE) to provide long-term protection of the forest preservation area and reforestation/afforestation areas. This easement limits the activities that are permitted within the FCE such as prohibiting clearing, grading, and native plant removal. Non-native and invasive plant control as well as removal of trash and debris is required with the FCE.

The project will remove 64 significant trees, 29 of these trees were removed during the demolition of the single-family homes and are being replaced as part of the Forest Conservation Plan requirements for the synagogue project. The total significant tree replacement requirement is 135 trees, of which 115 trees will be planted back on site. The applicant has submitted a fee in lieu justification request to the City Forester for the remaining 20 trees. The request was granted based on the following documentation:

1. 100% of the forest conservation requirement is being met on site. This amounts to a forest conservation requirement of almost one-quarter of the site and involves retaining existing forest, the planting of new trees and forest, and the preservation of almost one half-acre (0.41) of critical root zone area for the specimen white oak tree (however, credit is only given for one-quarter of this area or 0.10 acres per the FTPO and State law).
2. 85% of the required significant replacement trees will be planted on site.
3. One-half of the site or 2.27 acres consists of green space. The other half of the site consists of hardscape such as the building, parking lot, sidewalks, etc.
4. The site previously contained single family dwellings with large shade trees in the middle of the properties, making preservation of these trees contrary to best design practices for locating the building and parking lot. With the building located in the middle of the site, a significant landscape buffer can be provided along the shared property lines with the surrounding single-family dwellings. This resulted in a substantial significant tree replacement requirement.
5. The minimum amount of parking required per the Zoning Ordinance is being provided.

Stormwater Management

The application received Stormwater Management (SWM) Concept approval from the Department of Public Works (DPW) in an approval letter dated May 29, 2009 (Attachment B). Since the disturbed area is more than 50 percent of the entire site area, Stormwater Management is required for the site total impervious area of 2.32 acres. Measures to be utilized include an on-site underground storage facility for Channel Protection Volume management, an on-site underground filtering system (i.e. StormFilter), porous pavers for paved plaza areas, green roof, and a monetary contribution in lieu of on-site management for new impervious area (within 30' of the contiguous right-of-way of Darnestown Road.) The SWM Concept approval letter lists project specific conditions of approval.

Traffic / Transportation

(See Attachment C dated September 28, 2009 for the Traffic and Transportation Division's recommendation on the project.)

- **Parking** – The site plan includes 102 surface parking spaces, which are required by the Zoning Ordinance. The applicant will provide one-way, angled parking spaces and some parallel spaces for the parking lot. The applicant expects the provided parking to be adequate and meet their parking needs. During the high holy days, the applicant will provide a shuttle service from the Jewish Social Service Agency located in the Fallsgrrove Community at 200 Wood Hill Road.
- **Traffic** – Based on the square footage of the synagogue, the proposed use will generate 80 trips in the weekday PM peak hour and 82 during the Saturday peak hour. The PM peak hour for the use will be on Wednesday evening when the religious school is in service.
- **Access** – Darnestown Road is a County road, Montgomery County staff have reviewed the site plan and allowed access to the site by a right-in/right-out vehicular point across from Jersey Lane. There have been issues identified with access to the site from westbound Darnestown Road. To eliminate the problems associated with the left hand turn from Darnestown Road, the driveway into the site has been designed to only allow right turns in and right turns out of the site.
- **Traffic Signal** – The applicant has requested the installation of a traffic signal at their proposed entrance, which will be located across from Jersey

Lane (in the Fallsgrove subdivision.). The applicant completed a warrant study based on the Manual of Uniform Traffic Control Devices (MUTCD). The study showed that none of the warrants for a signal at this location were met when taking into account future traffic volumes from this site and Fallsgrove.

- **Pedestrian/Bicycle Access** – There are currently no sidewalks along the south side of Darnestown Road from Windy Knoll Court to West Montgomery Avenue. The Comprehensive Transportation Review Methodology (“CTR”) states that a minimum standard for sidewalk connectivity is the availability of sidewalks along the site frontage. Additionally the CTR seeks to ensure safe and efficient access to the site from a variety of modes, including pedestrian facilities. The City has two policies in place that address pedestrian accessibility and sidewalks. The Sidewalk Prioritization Policy identifies this stretch of roadway as a “B”, medium to high priority. The Council adopted “Pedestrian Policies” encourage pedestrian orientation for new development, and encourages the provision of facilities that enhance pedestrian circulation on previously developed sites.

The applicant is providing a five-foot wide sidewalk with a seven-foot tree lawn along their Darnestown Road frontage. Consistent with the above-referenced pedestrian policies Staff is also requesting the applicant design and construct a sidewalk from their eastern property line along Darnestown Road to Dav Road. This sidewalk would provide access for pedestrians and help to implement a portion of a missing link to the Thomas Farm Community Center.

The Bikeway Master Plan has been completely implemented in this area, which includes shared-use paths along Darnestown Road and Wootton Parkway, and a signed-shared roadway along Dundee Road.

- **Transit** – Ride-On bus routes 56 and 45 serve the area along Wootton Parkway, Shady Grove Road and Dundee Road. There is currently no bus service along Darnestown Road.
- **Trash/Loading** – The site will provide loading and trash access from the rear of the building. The applicant has stated that very little heavy truck traffic will access the site.

Staff Report

Utilities**▪ Adequate Public Facilities Standards (APFS)**

Any development, or redevelopment within the City, must comply with all requirements of the Adequate Public Facilities Standards, as well as the requirements contained in Article 20 of the Zoning Ordinance. Public facilities and services to be examined for adequacy are roads and public transportation facilities, sewerage and water service, schools, and fire and emergency services protection.

○ Roads and Public Transportation

The roadway system around the site is adequate to serve the proposed use. The primary uses of the facility will not take place during the morning or afternoon rush hours. They are anticipated on a couple of nights during the week and for weekend services. Other functions that may take place at the facility will not be during the standard rush hours.

Pursuant to the earlier discussion regarding sidewalks along the Darnestown Road frontage, staff is proposing that sidewalk construction be completed, where possible, and a contribution to future installation be submitted where it cannot be constructed at this time (See the attached memorandum from the Traffic and Transportation Division).

○ Water and Sewer

In a letter dated September 25, 2009 (Attachment D) the application received conceptual approval from DPW of a request for extensions of, and connections to, the City's water and sanitary sewer systems. The approval letter lists project specific conditions of approval.

○ Schools

This is a nonresidential use; therefore there will be no impact upon public schools.

○ Fire and Emergency Services

The City's Adequate Public Facilities Standards places a specific level of service upon certain "higher-risk" uses. Such uses include "places of assembly seating more than 500", which includes the proposed project. The level of service required is a full response from 3 fire stations within 10 minutes. Based upon information

provided by the Montgomery County Fire and Rescue Service, the subject site complies with this level of service standard.

Publicly Accessible Art in Private Development

Places of worship are exempt from this requirement.

RECOMMENDED CONDITIONS:

1. The applicant must comply, to the satisfaction of the Director of Public Works, with the conditions outlined in the attached correspondence from the Department of Public Works pertaining to Stormwater Management Concept (Attachment B), Traffic and Transportation (Attachment C) and Sewer and Water (Attachment D).
2. Submit for review and approval the Final Forest Conservation Plan (FCP).
 - a. The Final FCP will be reviewed concurrently with the detailed engineering drawings that are submitted to the Department Public Works.
 - b. The Final FCP shall be based on the Preliminary FCP and provide tree plantings consistent with the Preliminary FCP.
 - c. The Landscape Plan shall match the landscaping shown on the Final FCP.
3. Obtain a Forestry permit from the City Forester prior to release of the Building permit.

REQUIRED FINDINGS:

Pursuant to Section 25.07.01.b.2 of the Zoning Ordinance, in approving a project plan application, the Mayor and Council must make the following findings:

- (a) Adversely affect the health and safety of persons residing or working in the neighborhood of the proposed use;*

Places of worship are designated as a permitted use in the R-200 Zone within the Zoning Ordinance. The site will be occupied by the staff only, except for when either services or religious classes are conducted. On-site parking proposed for this project complies with the Zoning Ordinance requirement. It is felt that the amount parking provided is adequate to meet the normal operations of the project.

During the High Holy Days (Rosh Hashanah and Yom Kippur) the applicant has reached an agreement with the Jewish Social Service Agency located on Blackwell Road, to allow parking on their site, with shuttle bus service provided to the synagogue. The provision of off-site parking during this peak demand should protect the surrounding neighborhood from any intrusion created by parking.

- (b) *Be detrimental to the public welfare or injurious to property or improvements in the neighborhood;*

As stated earlier, most of the time, staff will be the only occupants of the site. The building is low in stature and meant to blend into the site. The site design and plantings provide privacy to both the site and the surrounding neighbors. The building's height at 14 to 24 feet is lower in height than many of the homes surrounding the property.

- (c) *Overburden existing and programmed public facilities as set forth in Article 20 of Chapter 25 and as provided in the adopted Adequate Public Facilities Standards;*

As discussed within the report, there is no anticipated impact upon public facilities as a result of this project. Full compliance with the Department of Public Works will further ensure that no public facility impacts will result from this development.

- (d) *Constitute a violation of any provision of the Zoning Ordinance or other applicable law;*

The project, as proposed, complies with all applicable provisions of the Zoning Ordinance. However, until Forestry and Stormwater Management Plans are approved, it is possible that the improvements on the submitted plan could vary slightly. As such, at the Project Plan level of review, the project's development plan is considered to be conceptual. Any needed adjustments could be made during the Site Plan review process. In order to obtain a Building Permit, it will be necessary for this development to comply with approvals that may be granted by the Mayor and Council, as well as the Planning Commission, and all applicable laws.

- (e) Adversely affect the natural resources or environment of the City or surrounding areas;*

The site contains many trees. There are no other natural features that have been identified that may be affected by this development. Based on the number of trees that will be replanted on the site and the green roof and pervious surfaces, where possible, the proposed development will have no adverse impact upon natural resources or the environment.

- (f) Be in conflict with the Plan; or*

All three properties originally contained single-family homes per the Master Plan recommendation. At the time that they were annexed, the property owners were pursuing the applications based on non-residential development proposals. They came under common ownership after the development approvals for the Alzheimer's facility and a day school expired.

Places of worship are considered to be acceptable development in residential neighborhoods based on the fact that they are a permitted use in the R-200 Zone. A nonresidential use, however, seems to have been anticipated for these properties based on the fact that an Alzheimer's facility and a day school were approved for the three properties shortly after annexation. In evaluating these type of uses in a location like this it is often thought that they act as a buffer between a high volume road and an interior neighborhood.

- (g) Be incompatible with the surrounding uses or properties.*

As noted in the finding above, places of worship are permitted uses in the R-200 Zone. The building is low in stature and nestled in among the trees on the property. The property will experience limited activity most of the time. Higher volume activities will be measured in hours when religious instruction or services are taking place.

As stated earlier forest preservation, reforestation/afforestation and supplemental tree planting will provide a buffer between the site and the surrounding single-family lots along the southern and eastern property lines. Additional tree planting is proposed along the western property line where a pre-application for an assisted living facility has been filed. The proposed buffering, in addition to the limited activity on the site, should protect against any significant incompatibility with surrounding properties and uses.

PUBLIC OUTREACH:

In addition to the required area meetings, the applicant has held several meetings with members of the community. These meetings have been held on August 24, 2008, November 20, 2008, May 13, 2009 and July 15, 2009. Comments that were offered by the community have all gone into the final layout of the site. Documentation of the Area Meetings is on file with the Community Planning and Development Services Department and available for review if desired.

CONCLUSION:

The proposed development has been well designed to suit the site. Its low slung structure should fit into the community nicely due to its building height of between 14 and 24 feet. Over time the new tree planting will mature and create not only significant buffers between the subject property and the neighboring properties but also a nice wooded feel that will enhance the design of the structure. Where possible, the applicants have expressed a desire to introduce green building methods. At this time, they are proposing a green roof and pervious paving in the patio areas. The current iteration of the site plan addresses all areas of concern expressed during staff and neighborhood review. With the inclusion of the conditions included in this staff report, staff believes that the application meets the findings necessary for granting this Project Plan application.

Attachments:

Attachment A	Section 25.07.08 "Project Plan Review" of the Zoning Ordinance
Attachment B	Correspondence dated May 29, 2009 from Department of Public Works regarding Stormwater Management
Attachment C	Correspondence dated September 28, 2009 from Department of Public Works regarding Traffic and Transportation
Attachment D	Correspondence dated September 25, 2009 from Department of Public Works regarding Water and Sewer
Attachment E	Letter of Support dated September 27, 2009
Attachment F	Development Plans

- c. *Multi-Phase or Multi-Building Site Plan Approval* All phases of a multi-building or multi-phase project which has received site plan approval has been approved must be commenced within eight (8) years from the effective date of site plan approval unless another time frame is provided by this Chapter or by the terms of approval. A site plan approval will become void for those buildings or phases within a multiple building or phased development for which construction has not commenced within eight (8) years from the date of the site plan approval or within such other time frame provided by this Chapter or by the terms of approval. Unless otherwise specifically provided by the terms of approval, no extension may be granted from the implementation period set forth in this subsection c.

25.07.08. – Project Plan Review

An application for a site plan review with 13 or more points, as determined in Section 25.07.02.b above, is processed as a Project Plan review and is subject to the following provisions:

1. *Pre-Application Staff Meeting* – The applicant must hold a meeting with staff of the City's Development Review Committee prior to submitting an application to outline the scope of the project and the scope of the Comprehensive Transportation Review. At that meeting, the Chief of Planning will provide the applicant with a non-binding point evaluation for the project, which will be re-evaluated after the application is submitted.
2. *Pre-Application Area Meeting* – The applicant must hold an area meeting prior to submitting an application to outline the scope of the project and receive comments in accordance with Section 25.07.03.
3. *Project Plan Application* – The applicant must file an initial Project Plan site plan application prior to Planning Commission review in accordance with the provisions of Section 25.07.03 and Article 5 and provide a date for a post-application area meeting.
4. *Notice* – The applicant must provide notice of the application filing and the post-application area meeting in accordance with the provisions of Section 25.07.03. 5.
5. *Briefing Session for Mayor and Council and Planning Commission* – The Mayor and Council and the Planning Commission must each hold a public meeting to receive a briefing of the Project Plan.
6. *Revised Project Plan Application* – The applicant is encouraged to revise the application pursuant to comments received at the briefing sessions and area meetings.

7. *Planning Commission Public Meeting* - The Planning Commission must review the Project Plan application, as revised, at a public meeting and provide an opportunity for public comment thereon.
8. *Planning Commission Comments and Recommendation* - Following its review, the Planning Commission shall prepare and transmit its comments and recommendations on the Project Plan application to the Mayor and Council.
9. *Revision to Project Plan Application* – The applicant may file a revised application, if needed, based on the comments and recommendations of the Planning Commission, for consideration by the Mayor and Council.
10. *Notice* – The applicant must provide notice of the Mayor and Council public hearing and any revisions to the application, if applicable, in accordance with the provisions of Section 25.07.03.
11. *Mayor and Council Public Hearing* – The Mayor and Council must hold a public hearing on the revised application for a Project Plan.
12. *Area Meeting* – If directed by the Mayor and Council, the applicant must then hold an area meeting to explain and receive comments on the proposed plan and provide notice in accordance with the provisions of Section 25.07.03.
13. *Final Project Plan Application* – The applicant is encouraged to file a revised Project Plan based on comments received during the public hearing and from the area meeting.
14. *Findings* - The Mayor and Council must make the findings required in Section 25.07.01.a.3.
15. *Decision; Project Plan Implementation Period* – Upon the close of the public hearing record, the Mayor and Council will render a final decision by resolution on the proposed Project Plan. If the application is approved, the Mayor and Council will establish a time period in which construction on all phases of the approved Project Plan must commence.
16. *Conditions of Approval* –Project Plan approvals may be subject to any condition that the Mayor and Council finds necessary to protect the public health, safety, and welfare of the community and to ensure that the proposed use or development will be consistent with the purpose and intent of this Chapter.
17. *Project Plan Implementation Period*– A Project Plan approval expires if:

- (a) A site plan application implementing all or a portion of a Project Plan is not filed within six (6) months of the date of the Mayor and Council's approval or within such other period of time as may be provided in the approval; or
 - (b) Construction on all phases of the approved Project Plan has not commenced within the time period set forth in the Project Plan approval, except that the approval does not terminate with respect to those phases of the Project Plan for which construction has commenced.
18. *Notice of Decision* – The Chief of Planning must send notice of the Mayor and Council's decision on the final Project Plan in accordance with the provisions of Section 25.05.06.
19. *Preliminary Plan of Subdivision Approval* - Approval of a Project Plan also constitutes approval of a preliminary plan of subdivision.
20. *Subsequent Site Plan Review* – All development approved under a Project Plan is subject to subsequent site plan approval in accordance with the Level two (2) site plan review procedures under Section 25.07.05 above. However, the pre-application provisions of Sections 25.07.05.1 and 2 are not required.
21. *Appeals* – Any person aggrieved by any decision of the Mayor and Council made on a map amendment application or a Project Plan application may appeal the same to the Circuit Court for the County. Such appeal must be taken according to the Maryland Rules as set forth in Title 7, Chapter 200.

25.07.09 –Special Exceptions

- a. *Pre-Application Staff Meeting* – The applicant must hold a meeting with the City's Development Review Committee prior to submitting an application to outline the scope of the project. At that meeting, the Chief of Planning will provide the applicant with a non-binding point evaluation for the project, which will be re-evaluated after the application is submitted.
- b. *Notice* – The applicant must provide notice of the Board of Appeals public hearing and any revisions to the application, if applicable, in accordance with the provisions of Section 25.07.03 and with the following:
 - 1. The area of notice shall be based on the chart in Section 25.07.02.b.
 - (a) For applications with zero (0) to six (6) points mailed notice shall be sent to all property owners and residents within 750 feet of the project area.



City of Rockville
111 Maryland Avenue
Rockville, Maryland
20850-2364
www.rockvillemd.gov

Public Works
240-314-8500
TTY 240-314-8137
FAX 240-314-8539

Public Works Operations
240-314-8570
FAX 240-314-8589

Environmental Management
240-314-8870
FAX 240-314-8885

Fleet Services Division
240-314-8485
FAX 240-314-8499

Water Treatment Plant
240-314-8555
FAX 240-314-8564

MAYOR
Susan R. Hoffmann

COUNCIL
John B. Britton
Piotr Gajewski
Phyllis Marcuccio
Anne M. Robbins

CITY MANAGER
Scott Ullery

CITY CLERK
Claire F. Funkhouser

CITY ATTORNEY
Debra Yerg Daniel

May 29, 2009

Mr. Steve Wilde
Macris, Hendricks & Glascock, P.A.
9220 Wightman Road, Suite 120
Montgomery Village, MD 20886-1279

Re: Kol Shalom
Stormwater Management (SWM) Concept
PAM2009-00001/SMP2009-00009

Dear Mr. Wilde: *Steve*

The Stormwater Management (SWM) Concept, received May 19, 2009 for the above referenced site is conditionally approved. The proposed development at Lot 15, Block A, Ivy Woods and P.705 and P.706 on Tax Map FR53 includes the following: construction of a synagogue (one building) with associated drive aisles, parking, service drive, loading area, sidewalks, communal amenities and infrastructure. The property is zoned R-200 and is in the Watts Branch watershed.

Based on your application, the proposed development contains approximately 3.61 acres (157,300 sq.ft.) of disturbed area. The overall site area, before street dedication, is approximately 5.06 acres (220,254 sq.ft.). Since the disturbed area is more than 50 percent of the entire site area, SWM is required for the site's total impervious area of 2.32 acres, which includes the green roof areas (7950 sq.ft. on the east and 5360 sq.ft. on the west) and the porous paver area (10,120 sq.ft. on the east). However, for purposes on this approval and subsequent detailed design, the green roof and porous paver areas can be considered to be pervious if designed in accordance with applicable standards. SWM also is required for an additional 0.17 acres of impervious area located within the adjacent right-of-way (ROW). The submitted SWM Concept proposes the following:

1. **Channel Protection Volume (Cpv)** - Channel Protection Volume for the site will be provided as follows:
 - a. West subarea
 - i. An on-site, underground facility with storage in CMP pipes and a concrete control structure for 1.3 acres of impervious area in the western subarea (which does not include the green roof), and
 - ii. Approximately 4090 sq.ft. (0.09 acres) of green roof.
 - b. East subarea
 - i. "Over compensation" in the underground facility utilizing compensatory over storage for the 0.52 acres of impervious area (which does not include the green roof or porous paver areas),
 - ii. Approximately 10,120 sq.ft. (0.23 acres) of porous pavers for the paved plaza areas, and
 - iii. Approximately 7950 sq.ft. (0.18 acres) of green roof.

2. **Overbank Flood Protection (Op10)** - Overbank Flood Protection Management for the site will be provided by SWM alternative, monetary contribution, in lieu of on-site management due to vertical and horizontal constraints that make the implementation of measures to provide this management impractical. The total impervious area used in the calculation includes all of the paved areas, as well as the entire roof areas (green and non-green) and the porous paver areas.
 - a. West subarea – 1.39 impervious acres
 - b. East subarea – 0.93 impervious acres
3. **Pretreatment** – Pretreatment of runoff prior to water quality treatment is proposed to be provided via an hydrodynamic type structure that will be located between the flow splitter pipe and the StormFilter vault for the West subarea. Pretreatment for the service area in the Eastern subarea will not be required as several filtration measures are being proposed with this SWM Concept.
4. **Water Quality Volume, Non- Recharge (WQv)** – Water Quality Non-Recharge for the site will be provided as follows:
 - a. West subarea
 - i. An on-site, underground filtering system (StormFilter) housed in a concrete vault. A CMP pipe system will be utilized for storage, and
 - ii. Approximately 4090 sq.ft. (0.09 acres) of green roof.
 - b. East subarea
 - i. Off-line manhole StormFilter(s) for the non-green roof area utilizing flow based design,
 - ii. Approximately 7950 sq.ft. (0.18 acres) of green roof,
 - iii. Approximately 10,120 sq.ft. (0.23 acres) porous pavers for the paved plaza areas, and
 - iv. A catch basin StormFilter for the paved loading, trash and service areas utilizing flow based design.
5. **Water Quality Volume, Recharge (Rev)** Water Quality Recharge for the site will be provided for both the 1.3 impervious acres from the West subarea and 0.52 impervious acres from the East subarea via additional stone below the porous paver plaza areas.
6. **Darnestown Road Right-of-Way** - In accordance with the City of Rockville's SWM Ordinance, SWM is required for the existing, replaced or new impervious area within 30' of the contiguous ROW of Darnestown Road. The SWM Concept proposes a SWM alternative, monetary contribution, in lieu of providing on-site SWM due to the inability to collect and management runoff in this portion of the ROW.

This SWM concept is approved subject to the following conditions, which must be addressed at the stages in the process as indicated below:

1. Perform infiltration tests and prepare a report for all measures that utilize filtering methods (i.e. porous paver.). The report must be furnished to the Department of Public Works

(DPW). An infiltration rate of ≥ 0.52 inches/hour will be required in order for the proposed practice to be utilized. If the minimum infiltration rate is not achieved, the applicant must present alternative water quality measures for approval by DPW. The use of porous pavers as supported by the infiltration testing or the alternative measures (if rates are found to be below the minimum acceptable) must be accepted by DPW prior to the approval by the authorizing body.

2. Provide pre-treatment of storm flows prior to underground filtering system utilizing a hydrodynamic system and method allowed and approved by the DPW for the West subarea. Pretreatment of the runoff for the East subarea will not be required.
3. Applicant shall contribute to the City Stormwater Fund as a SWM alternative to providing on-site Q_{p10} management. This monetary contribution has been computed to be approximately \$46,400 based on the on-site impervious area that cannot be managed onsite, which is 2.32 impervious acres at a rate of \$20,000 per impervious acre. The actual contribution shall be determined at the time of detailed engineering and must be based upon the final site plan and the fees in place at the time of permit issuance. Payment of the monetary contribution is required prior to DPW permit issuance.
4. In order to qualify for the monetary contribution for Q_{p10} , the applicant must demonstrate, at detailed engineering, that the ten-year storm event (utilizing the rational method) can be safely conveyed through the existing storm drain system to Falls Grove Stormwater Management Facility #2. Upgrades to the existing storm drain system may be required if safe conveyance cannot be demonstrated.
5. Provide computations to support the use of green roof areas and porous pavers areas at detailed engineering. These areas can be considered to be pervious if designed in accordance with applicable standards. A minimum of 6" depth will be required for all green roof areas.
6. Applicant shall contribute to the City Stormwater Fund as a SWM alternative to providing on-site Water Quality, Channel Protection and Q_{p10} SWM for the impervious acres within 30' of the contiguous ROW of Darnestown Road that cannot be managed on-site. This monetary contribution has been computed to be approximately \$8,840 based on the impervious area in the ROW at a rate of \$52,000 per impervious acre. The actual contribution shall be determined at the time of detailed engineering and must be based upon the final improvement plan and the fees in place at the time of permit issuance. Payment of the monetary contribution is required prior to DPW permit issuance.
7. Provide an analysis of the affect of ponding due to the adjacent low point and high point in the Darnestown Road at Site Plan stage and demonstrate that runoff from the proposed development will not adversely impact the properties that front Darnestown Road.
8. Provide grading that does not include low points or low point inlets in the porous paver areas. Demonstrate how safe overland flow away from the buildings will be achieved at

detailed engineering. Building foundations must be designed to address proximity to porous paver materials and must be certified by a geotechnical engineer or other qualified professional at detailed engineering.

9. Provide an exhibit and computations for all areas showing the impervious areas being treated (quantity and quality), as well as the areas covered by a SWM alternative (monetary contribution) including the Darnestown Road ROW at detailed engineering. Show all proposed SWM structures, measures and features on this exhibit.
10. Submit a detailed storm drain plan with computations and a supporting drainage area map for use by DPW in review of the detailed engineering. Montgomery County Department of Permitting Services (MCDPS) will approve and permit permanent work in the Darnestown Road ROW.
11. Submit a Rockville SWM permit application, permit fees and SWM Database Sheet associated with the SWM plans.
12. Post financial security based on the approved construction estimate in a format acceptable to the City Attorney. Approval by the City Attorney is to be coordinated through DPW.
13. Submit a SWM Easement/Maintenance Agreement for all features, including the green roof areas, signed (executed) by the property owner(s) for review and approval by DPW and the City Attorney's Office. The approved and executed SWM Easement/Maintenance Agreement must be recorded in the Montgomery County Land Records prior to DPW permit issuance.
14. Submit a Forest Conservation Plan (FCP) to the Assistant City Forester for review and approval. The FCP must be approved prior to DPW issuing SWM and sediment control permits.

COMAR 26.17.02.03 requires each county and municipality to adopt, by May 4, 2010, a revised ordinance that complies with the recently enacted revisions to the Maryland Department of the Environment (MDE), 2000 Maryland Stormwater Design Manual Volumes I & II. As mandated, the revisions must be applied to all new development and redevelopment projects that do not have final approval for erosion and sediment control and SWM plans by May 4, 2010. Therefore, the applicant is strongly urged to consider this State mandated deadline and potential impacts and implications to the project timing, detailed engineering plan approvals and costs.

This SWM Concept approval will be considered void on May 4, 2010 unless the detailed engineering plans are approved by that date. In addition, this concept approval does not guarantee that an approval of an Erosion and Sediment Control Plan or a SWM Plan will be issued by DPW before May 4, 2010.

Mr. Wilde
May 29, 2009
Page 5

Any significant modification, revisions or alterations to the approved types, methods, locations and sizes of SWM measures approved with this SWM Concept may result in the requirement to submit a revised SWM Concept for approval by DPW.

If you have any questions, please contact Mary Fertig, Civil Engineer II, of my staff at 240-314-8535.

Sincerely,



Susan T. Straus, P.E.
Chief Engineer/Environment

cc: Deb Finkelstein, Kol Shalom
Donald Silverstein, Blake Real Estate Inc.
Mike Plitt, MHG
Jim Wasilak, Chief of Planning
Charlie Baker, Chief of Inspection Services
Margaret Hall, Planner II
Elise Cary, Assistant City Forester
Mark Wessel, Civil Engineer III
Mary Fertig, Civil Engineer II
Permit Plan
Day File



City of Rockville

MEMORANDUM

October 2, 2009

TO: Jim Wasilak, Chief of Planning

FROM: Rebecca Torma, Transportation Planner II *RT*
 Mark Wessel, Civil Engineer III *MW*

VIA: Emad Elshafei, Chief, Traffic and Transportation Division *EE*

SUBJECT: Transportation Staff Report
 Kol Shalom, 9104, 9110 and 9150 Darnestown Road, PJT2009-00001

This memorandum presents the Traffic and Transportation Division's recommendation on the subject Project Plan application, PJT2009-00001. These recommendations incorporate and address comments and concerns expressed by the City staff and the applicant as part of the review process.

BACKGROUND:

The 4.812-acres subject property previously had three single-family homes on the site, all of which were demolished in 2007. This site has previously been approved for a 64-unit Alzheimer's home, a daycare center and six single-family homes. All of these approvals have expired.

PROPOSED DEVELOPMENT:

The applicant proposes to construct a one-story, 30,000 square foot synagogue with a 105-space surface parking lot. The synagogue will have an administrative wing with offices, two meeting/conference rooms, sanctuary, social hall and eight classrooms for a religious school. The applicant will construct a new vehicular entrance directly across from Jersey Lane that will be right in/right out. In addition, the applicant will dedicate a small portion of their property to public use and construct a five-foot wide sidewalk, with a seven-foot tree lawn, curb and gutter along their Darnestown Road frontage. The property dedication is required because the County Master Plan shows Darnestown Road as a 100-foot wide roadway dedication. At this time, there is no traffic signal at the entrance since it does not meet the signal warrants. The applicant was required to conduct a traffic impact analysis to identify the effect of the proposed synagogue on

the surrounding area roads, pedestrian and bicyclist systems. Under the total traffic volumes, the analysis results indicate that the study area intersections will continue to operate at acceptable levels as specified in the CTR.

The synagogue will have religious services, office space for staff, and a religious school. The services will occur on Friday 6:30 PM to 8 PM, and Saturday from 9 AM to 1 PM. The office will have a permanent staff of four to six full-time employees, which will be working Monday through Thursday, from 9 AM to 5 PM and Fridays from 9 AM to 3 PM. The proposed religious school, which includes eight to ten teachers will allow for 40 students, and operate on Wednesdays from approximately 4 PM to 6:15 PM and on Sundays from 9 AM to noon.

SITE ANALYSIS:

The subject property is situated along the south side of Darnestown Road, between Glenora Lane and Dav Road and directly across from the Fallsgrove community. The Darnestown Road right-of-way is located in the County along with the properties along Dav Road and Hiwood Drive. The site is currently vacant, but in 2007 the two buildings that were on the site were demolished. The site currently has no sidewalk, curb or gutter along Darnestown Road and is not located in a Transit Oriented Area (TOA).

Roadway Network Analysis:

The analysis examined the vehicular traffic operations, safety of pedestrians, bicyclists, and transit facilities at the five intersections listed below that are within 0.35-mile radius of the site. Staff directed the applicant to study the following intersections:

1. Darnestown Road and Glen Mill Road
2. Darnestown Road and Glenora Lane
3. Darnestown Road and Jersey Lane
4. Darnestown Road and West Montgomery Avenue
5. West Montgomery Avenue and Crofton Hill Lane/Research Boulevard

These intersections were studied for intersection capacity and traffic volumes using three different scenarios: (1) existing year traffic conditions; (2) background traffic conditions; and (3) total future traffic conditions. A two (2) percent annual growth rate to account for regional traffic growth along Darnestown Road was used. Intersection capacity analyses were conducted utilizing the Critical Lane Volume (CLV) method as required per the Comprehensive Transportation Report (CTR). In addition, if an intersection is operating near capacity, the applicant was required to study the intersection using the Highway Capacity Manual (HCM).

The report shows that the existing and background traffic volumes of the study area intersections operate at acceptable levels during the PM peak hours and Saturday peak hours with the exception of the West Montgomery Avenue and Crofton Hill Lane/Research Boulevard. The

West Montgomery Avenue and Crofton Hill Lane/Research Boulevard is operating above the capacity level during PM peak hours.

Traffic volumes generated by the site were calculated using the Institute for Transportation Engineers (ITE) Trip Generation Report (8th Edition). Peak hour trip generation for the proposed synagogue are shown below:

	PM Peak			Saturday Peak Hour (vehicle/hr)		
	In	Out	Total	In	Out	Total
Proposed 30,000 square foot synagogue	40	40	80	35	47	82

Under the total future traffic volumes, the analysis results indicate that the study area intersections will continue to operate at same levels as the existing and background traffic volumes currently do. Therefore, there is no mitigation required by the applicant.

Pedestrian operations are currently being evaluated for intersections within 0.35-mile radius of the site. The pedestrian safety ratings of adequate or better are considered acceptable according to the CTR.

Heavy Vehicle Traffic on Darnestown Road

The applicant was required to assess the truck traffic on Darnestown Road between Glen Mill Road and West Montgomery Avenue. The applicant conducted a bi-directional tube count during the PM peak hour to determine the amount of heavy truck traffic along Darnestown Road. The results show that during the PM peak hour trucks account for six percent of the total average daily traffic volume (ADT) along Darnestown Road.

Traffic Signal Warrant Analysis

As a result of the review of the Transportation Report, the applicant was requested by City staff to complete a traffic signal warrant analysis for the Darnestown Road at Jersey Lane/site access intersection. A traffic signal warrant analysis was completed using the worst case scenario based on the total future traffic volumes as outlined in the Manual on Uniform Traffic Control Devices (MUTCD). Total future traffic volumes are compiled using existing traffic volumes along Darnestown Road and Jersey Lane, background developments that consist of approved but not built developments in Fallsgrove and the impact from Kol Shalom. There are eight warrant conditions that could allow for a traffic signal to be installed, and none of the warrants were met. Montgomery County concurred with the findings that a traffic signal should not be installed.

Access and Circulation:

- A. Passenger Vehicle: The applicant proposes one vehicular access point into the site, which will be directly across from Jersey Lane and will be a right in/right out.
- B. Heavy Vehicle (Trucks): The dumpster location is proposed at the rear of the building. Loading and trash pickup will use the proposed vehicular access point along the Darnestown Road frontage. Staff reviewed the circulation through the site and access to trash pick up and found it satisfactory.
- C. Pedestrian Access: The applicant has identified and evaluated pedestrian facilities within 0.35-mile of the study area as required by the CTR. Sidewalk is currently missing along the south side of Darnestown Road from Windy Knoll Court to West Montgomery Avenue. The Adequate Public Facilities Ordinance (APFO) states: "no development shall be approved without a determination that the public facilities are adequate.... Public facilities and services to be examined for adequacy will include but not necessarily be limited to roads and public transportation facilities...." In addition, the CTR, which is the transportation test for the APFO, states that at a *minimum* standards for sidewalk connectivity of pedestrian facilities consist of ensuring availability of sidewalks along the site's frontage. The CTR further discusses that access and circulation design must be designed well to the site from abutting roadways.

The City has also created a Sidewalk Prioritization Policy and Pedestrian Policies. The Sidewalk Prioritization Policy identifies missing sidewalks and determines in what order they should be constructed. The stretch of road between Windy Knoll Court and West Montgomery Avenue has a rating of "B" on a scale from A to E. In addition, more recently the Mayor and Council adopted the Pedestrian Policies, which is a "unified" policy composed of a series of individual policy statements that provides consistency with the established City goals. The Pedestrian Policies document states: "new buildings should be pedestrian oriented" and "new proprietors should be encouraged to provide facilities that enhance pedestrian circulation and accessibility on previously developed sites."

The goal of evaluating each mode of transportation as required in the CTR, including pedestrian facilities within the 0.35-mile radius is to ensure that the site can be accessed safely and efficiently through various modes and that adequate transportation facilities are in place to support the subject development without detriment to the overall transportation system. Therefore, in addition to the sidewalk frontage, staff is requesting the applicant to design and construct a sidewalk from their eastern property boundary along Darnestown Road to Dav Road. Staff has determined that if the applicant constructs sidewalk along frontage only, then it will not meet the APFO requirements for adequacy since pedestrians will not be able to access the site. Additionally, connecting the frontage to Dav Road will connect transit users and residents from Dundee Road to the site. Since there is no transit service along Darnestown Road, transit users will be

able to use the bus stops along Dundee Road, and then walk along Dav Road to get to the site using the sidewalk connection to Dav Road. Lastly, the adjacent property on Darnestown Road is proposing to develop a senior care facility. They will be required to construct sidewalk along their frontage in addition to a sidewalk section connecting their site to Glenora Lane. The sidewalks required from the two applicants will complete the sidewalk from Glenora Lane to Dav Road.

- D. Bicycle Access: The applicant has identified and evaluated bicycle facilities within 0.35-mile of the study area as required by the CTR. All of the bicycle amenities in the 0.35 mile area have been completed that are shown in the Bicycle Master Plan, including a shared-use path along Darnestown Road, Wootton Parkway, Glen Mill Road and a signed shared roadway along Dundee Road.

To comply with the City's bicycle facilities requirement, the applicant is required to provide four (4) bicycle lockers (8 long-term spaces) and 15 bicycle racks (30 short-term spaces). Long-term spaces can be either bicycle lockers or a covered locked room and short-term spaces are considered to be an inverted "U" bicycle rack.

- E. Transit Access: The applicant has identified that the bus routes and stops within 0.35-mile of their site. Currently, there are no bus routes that operate along Darnestown Road. There are however, two routes 45 and 56 that operate along Dundee Road and Wootton Parkway. The majority of the bus stops have less than 25 riders per day; therefore, the applicant is not required to pay for or install bus shelters.

CONDITIONS OF APPROVAL:

Based on our review, which took into account the needs of motorists, bicyclists, pedestrians, and transit users; City Staff recommends the following conditions of approval for the subject development application, PJT2009-00001:

1. All internal traffic control devices (i.e. signs, marking and devices placed on, over or adjacent to a roadway or pathway) to regulate, warn or guide pedestrians and/or vehicular traffic shall comply with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). The signing and pavement marking plans shall be submitted to DPW and approved by the Chief of Traffic and Transportation. *(This plan shall be approved and included with the signature set.)*
2. Provide four (4) bicycle lockers (8 long-term spaces) and 15 bicycle racks (30 short-term spaces). A locked bicycle room with racks or a covered locked cage is required for long-term storage. Short-term spaces are considered to be an inverted "U" bicycle rack and must be spaced four feet apart. These spaces shall be provided at a safe and secure location that is approved by DPW. The location of the short-term spaces shall be approved by DPW at the detailed engineering stage. Bike lockers and racks must be installed prior to issuance of the occupancy permit.

3. During construction, the contractors and construction vehicles will not be permitted to park in the residential neighborhoods. All parking for contractors must be provided on-site.
4. The applicant shall design and construct a five-foot wide sidewalk along the south side of Darnestown Road from the eastern boundary of the sidewalk constructed along the site's frontage to the intersection of Dav Road. This sidewalk shall be completed prior to the issuance of the occupancy permit. The sidewalk design shall be accepted by DPW prior to submittal for approval and permits from Montgomery County. If DPW and Montgomery County determines the project cannot be constructed, the applicant must construct a comparable project in the City's Planning Area or contribute an equivalent dollar amount based on a cost estimate that is approved by DPW.



City of Rockville
111 Maryland Avenue
Rockville, Maryland
20850-2364
www.rockvillemd.gov

Public Works
240-314-8500
TTY 240-314-8137
FAX 240-314-8539

Public Works Operations
240-314-8570
FAX 240-314-8589

Environmental Management
240-314-8870
FAX 240-314-8885

Fleet Services Division
240-314-8485
FAX 240-314-8499

Water Treatment Plant
240-314-8555
FAX 240-314-8564

MAYOR
Susan R. Hoffmann

COUNCIL
John B. Britton
Piotr Gajewski
Phyllis Marcuccio
Anne M. Robbins

CITY MANAGER
Scott Ullery

CITY CLERK
Claire F. Funkhouser

CITY ATTORNEY
Debra Yerg Daniel

September 25, 2009

Ms. Deb Finkelstein
Kol Shalom
10301 Grosvenor Place, #16
Rockville, Maryland 20852

Re: Kol Shalom
Project Plan #PJT2009-00001

Dear Ms. Finkelstein:

The Engineering Division of the Department of Public Works (DPW) has completed its review of the above referenced plan, received on July 31, 2009, for the requested extension of and connections to the City's water and sanitary sewer systems. This letter sets forth the conditions under which that request has been conceptually approved.

The following is a list of conditions that apply to Kol Shalom, #PJT2009-00001:

- 1) Provide service to the property by extending the existing City water system. Service may be achieved by either connecting to and extending the existing 8" main in the vicinity of the intersection of Darnestown Road and MD Route 28, or by connecting to the existing 12" main in Darnestown Road in the vicinity of Glenora Lane and extending it as an 8" main. Regardless of which extension provides service to the property, an 8" main also will be required along the entire property frontage.
- 2) Provide a water loop by connecting to and extending the existing 6" water main in Jersey Lane to the 8" main required along the property frontage.
- 3) Provide a separate water house connection off of the looped portion of the water main to serve the building.
- 4) Extend the existing 8" City sewer main in Jersey Lane across Darnestown Road ending in a manhole in order to provide service to the property.
- 5) Extend the 8" sewer main across the frontage of the property to the west. This extension can end in a stub instead of a manhole.
- 6) Provide a separate sewer house connection off of the sewer 8" main to service the building.
- 7) Construct the above water and sewer mains in existing or dedicated public right-of-way or an easement that has been granted to the City.
- 8) Assess the need for fire hydrants at detailed engineering stage and provide them if determined to be necessary.

- 9) Submit water and sewer construction documents to DPW for the review, approval and permitting of the detailed engineering.
- 10) All work within the Darnestown right-of-way is subject to review, approval and permitting by the Montgomery County Department of Permitting Services.
- 11) Any substantial changes or revisions to the proposed development information, as shown on the plan received July 31, 2009, may require a modification, revision or deletion to these conditions.

If you have any questions, please contact Mary Fertig, Civil Engineer II, of my staff at 240-314-8535 or mfertig@rockvillemd.gov.

Sincerely,



Susan T. Straus, P.E.
Chief Engineer/Environment

STS/MF/mbw

cc: Donald Silverstein, Blake Real Estate Inc.
Mike Plitt, MHGA
Sarah Navid, MCDPS
Jim Wasilak, Chief of Planning
Margaret Hall, Planner II
Elise Cary, Assistant City Forester
Charlie Baker, Chief of Inspection Services
Mark Wessel, Civil Engineer III
~~Mary Fertig, Civil Engineer II~~
Permit Plan
Day File

September 27, 2009

Michael Kinney & Lillianne Troeger
2284 Glenmore Terrace
Rockville, Maryland 20850

Mayor and Council
City of Rockville
111 Maryland Avenue
Rockville, Maryland 20850

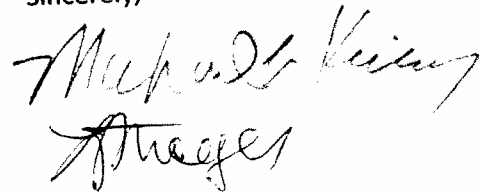
RE: The Proposed Kol Shalom Synagogue at 9104, 9110 and 9150 Darnestown Road

Dear Mayor and Council,

We live at 2284 Glenmore Terrace and our property abuts the rear of the proposed Kol Shalom Synagogue at the referenced addresses.

The applicants for this property have met with us several times and we have found their proposals and their proposed use of the property to be favorable. We hope that you will make a speedy decision and allow this project to move forward in the process.

Sincerely,

Handwritten signatures of Michael Kinney and Lillianne Troeger. The signature of Michael Kinney is written in a cursive style, and the signature of Lillianne Troeger is written in a more stylized, cursive script below it.

Michael Kinney & Lillianne Troeger

Cc: Jim Wasilak, Chief of Planning
Susan Swift, City Planning Director

KOL SHALOM

(PROPOSED) LOT 17, BLOCK, A, IVY WOODS
CITY OF ROCKVILLE, MARYLAND
PROJECT/CONCEPT DEVELOPMENT PLAN
CITY REF: PJT2009-00001

Legend	
EXISTING	PROPOSED
	Paving
	Curb & Gutter
	Sign
	Utility Pole
	Lamp Post
	Post or Bollard
	Tree
	Electric
	Overhead Wires
	Sanitary Sewer
	Storm Drain
	Water Line
	Fire Hydrant
	Gas
	Telephone
	Buildings
	Concrete
	Spot Elevation
	Contour

NOTES:

1. THIS PROJECT PLAN IS NOT TO BE USED FOR CONSTRUCTION.
2. THE TOPOGRAPHY IS FROM AN AERIAL SURVEY SUPPLEMENTED WITH AVAILABLE UTILITY RECORDS. THE BOUNDARY IS FROM DEEDS AND PLATS OF RECORD.
3. THE BOUNDARY AND TOPOGRAPHY INFORMATION WAS PREPARED BY MACRIS, HENDRICKS & GLASCOCK, P.A.
4. A SUBDIVISION OF THE PROPERTIES SHOWN IS REQUIRED TO CREATE LOT-17, IVY WOODS.
5. AN ASSOCIATED NRI/FSD HAS BEEN APPROVED FOR THIS SITE.
RE: #2009-00009
6. AN ASSOCIATED PCP HAS BEEN SUBMITTED.
RE: #
7. AN ASSOCIATED SHM CONCEPT HAS BEEN APPROVED FOR THIS SITE.
RE: # SHM2009-00009

DESIGN TEAM:

OWNER:

Kol Shalom
10301 Grosvenor Place #16
Rockville, MD 20852
Phone: 240-301-493-8198

DEVELOPER:

Kol Shalom
10301 Grosvenor Place #16
Rockville, MD 20852
Phone: 240-301-493-8198

ARCHITECT:

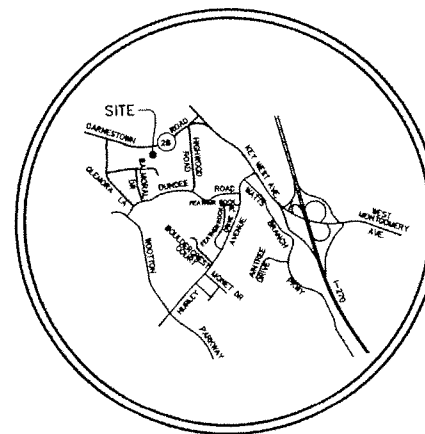
Shinbert-Levinas
4733 Bethesda Avenue
Bethesda, MD 20814
Phone: 301-652-8550

CIVIL ENGINEER:

Macris, Hendricks & Glascock, P.A.
9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301-670-0840

LANDSCAPE ARCHITECT:

Macris, Hendricks & Glascock, P.A.
9220 Wightman Road, Suite 120
Montgomery Village, MD 20886
Phone: 301-670-0840



VICINITY MAP
SCALE 1" = 2,000'

SITE DATA	
SUBJECT PROPERTY:	LOT 17 IVY WOODS, (PROPOSED)
GROSS LOT AREA:	208,604 S.F. or 4.812 AC.
DEDICATION:	11,987 S.F. or 0.273 AC.
NET LOT AREA:	197,617 S.F. or 4.537 AC.
ZONING CLASSIFICATION:	R-80
PROPERTY ADDRESS:	9110 DARNESTOWN ROAD, ROCKVILLE, MARYLAND
PROPOSED USE:	PLACE OF WORSHIP SCHOOL OFFICE SOCIAL HALL

DEVELOPMENT STANDARDS (26.10.02)

	REQUIRED/ALLOWED	PROPOSED
NET TRACT AREA	9,000 S.F.	127,837 S.F. or 4.537 AC.
LOT WIDTH	80'	
BUILDING SETBACK REQUIREMENTS		
FRONT (ADJACENT TO PUBLIC ROW)	30'	30'
SIDE (NOT ROW)	11'	54'
REAR	25'	50'
BUILDING HEIGHT	35'	25' (1)
BUILDING LOT COVERAGE	25% or 49,409 S.F.	30,600 S.F. (1)
BUILDING AREA	NONE SPECIFIED	30,600 S.F. (1)
IMPERVIOUS AREA TOTAL	N/A INSTITUTIONAL	
PARKING/LANDSCAPE SETBACK REQUIREMENTS		
FRONT (ADJ. TO PUBLIC ROW)	10'	12'
SIDE (ADJ. TO ROW)	11'	26' W
REAR (ADJ. R-200)	35'	45'
OFF STREET PARKING AND LOADING		
PARKING LOT AREA		43,000 S.F.
PARKING LOT GREEN AREA	5% = 2,190 S.F.	5.5% or 2,500 S.F.
PARKING SPACES (25.14.03)		
PLACE OF WORSHIP (30,000 S.F.)	1,000 S.F. = 102	102 SPACES (2)
BICYCLE SPACES		
SHORT TERM	22,000 = 18	18
LONG TERM	14,000 = 8	8
TRUCK LOADING (WB-40)		1

- NOTES:
1. INFORMATION PROVIDED BY PROJECT ARCHITECT
 2. INCLUDES 5 SPACES FOR THE HANDICAPPED OF WHICH 4 ARE VAN ACCESSIBLE

SHEET INDEX

- SP-1 Project/Concept Development Plan - Cover Sheet (1 of 2)
SP-2 Project/Concept Development Plan (2 of 2)

- LS-1 Landscape Plan (1 of 2)
LS-2 Landscape Plan (2 of 2)

- FCP-1 Preliminary Forest Conservation Plan (1 of 4)
FCP-2 Preliminary Forest Conservation Plan (2 of 4)
FCP-3 Preliminary Forest Conservation Plan (3 of 4)
FCP-4 Preliminary Forest Conservation Plan (4 of 4)

Vehicle Movement Exhibit

Stormwater Management Concept Plan

Approved NRI/FSD (1 of 2)
Approved NRI/FSD (2 of 2)



Professional Certification:

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 14979, Expiration Date: 7-02-10

Scott D. Roser

REVISIONS		
NO.	DATE	DESCRIPTION

TAX MAP FR 563

SP-1

CITY MAP C-1

PROJECT/CONCEPT DEVELOPMENT PLAN - COVER SHEET

KOL SHALOM
LOT-17, BLOCK A, IVY WOODS (PROPOSED)
4TH ED CITY OF ROCKVILLE - MONTGOMERY COUNTY - MARYLAND



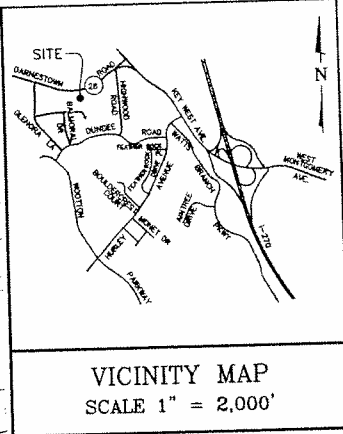
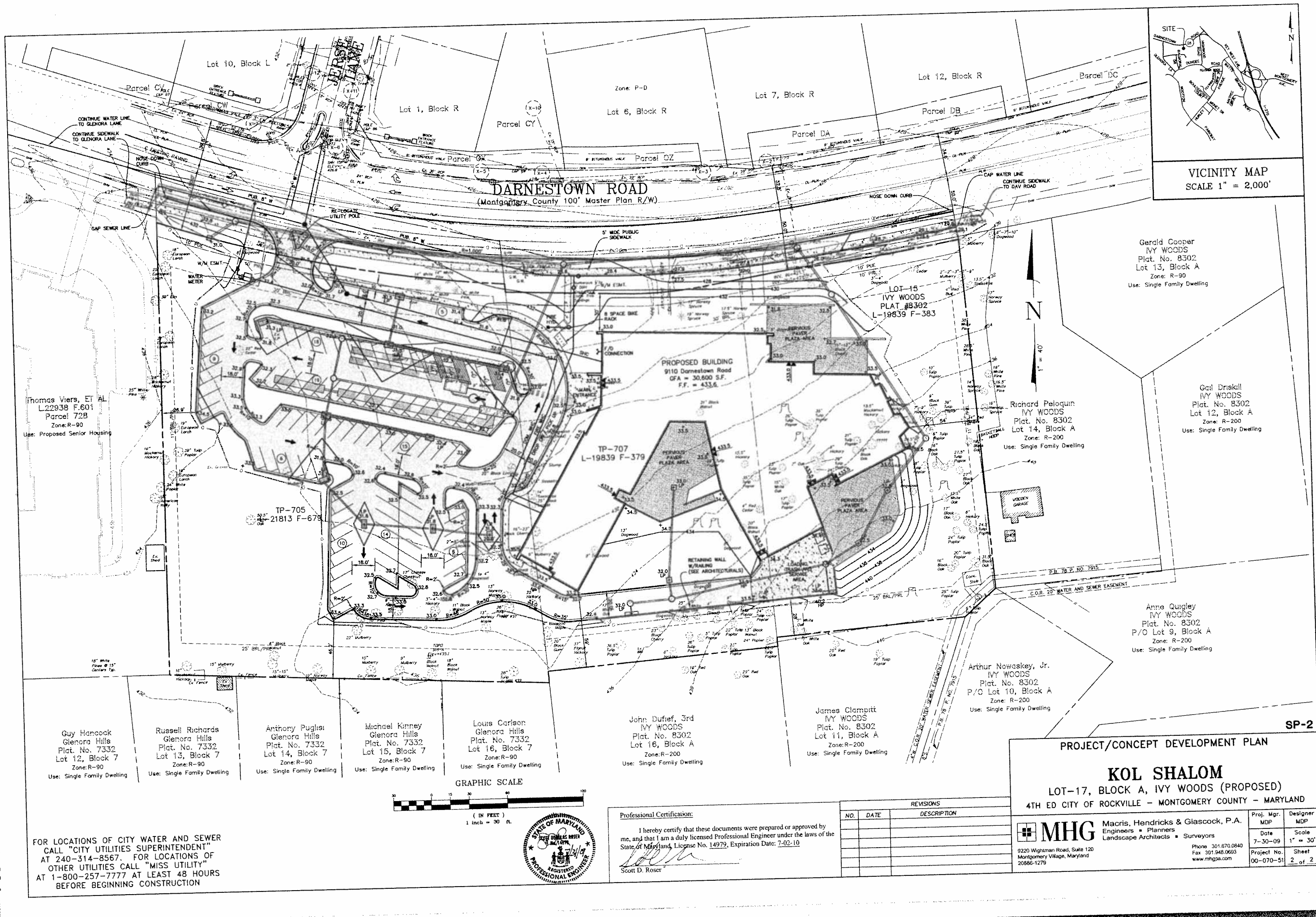
Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors

9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279

Phone: 301.670.0840
Fax: 301.948.0693
www.mhga.com

Proj. Mgr.	Designer
MDP	MDP
Date	Scale
7-30-09	NONE
Project No.	Sheet
00-070-51	1 of 2

130070dwgSP_51_01.dwg, 24568 CITY SITE PLAN, 7/31/2009 9:41:11 AM, Copyright 2009 Macris, Hendricks & Glascock, P.A.



Gerald Cooper
IVY WOODS
Plat. No. 8302
Lot 13, Block A
Zone: R-90
Use: Single Family Dwelling

Gail Driskill
IVY WOODS
Plat. No. 8302
Lot 12, Block A
Zone: R-200
Use: Single Family Dwelling

Richard Peloquin
IVY WOODS
Plat. No. 8302
Lot 14, Block A
Zone: R-200
Use: Single Family Dwelling

Anne Quigley
IVY WOODS
Plat. No. 8302
P/O Lot 9, Block A
Zone: R-200
Use: Single Family Dwelling

Arthur Nowaskey, Jr.
IVY WOODS
Plat. No. 8302
P/O Lot 10, Block A
Zone: R-200
Use: Single Family Dwelling

James Clampitt
IVY WOODS
Plat. No. 8302
Lot 11, Block A
Zone: R-200
Use: Single Family Dwelling

John Dufief, 3rd
IVY WOODS
Plat. No. 8302
Lot 16, Block A
Zone: R-200
Use: Single Family Dwelling

Louis Carlson
Glenora Hills
Plat. No. 7332
Lot 16, Block 7
Zone: R-90
Use: Single Family Dwelling

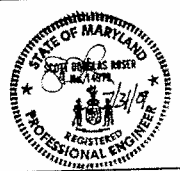
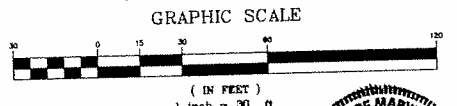
Michael Kinney
Glenora Hills
Plat. No. 7332
Lot 15, Block 7
Zone: R-90
Use: Single Family Dwelling

Anthony Puglisi
Glenora Hills
Plat. No. 7332
Lot 14, Block 7
Zone: R-90
Use: Single Family Dwelling

Russell Richards
Glenora Hills
Plat. No. 7332
Lot 13, Block 7
Zone: R-90
Use: Single Family Dwelling

Guy Hancock
Glenora Hills
Plat. No. 7332
Lot 12, Block 7
Zone: R-90
Use: Single Family Dwelling

FOR LOCATIONS OF CITY WATER AND SEWER
CALL "CITY UTILITIES SUPERINTENDENT"
AT 240-314-8567. FOR LOCATIONS OF
OTHER UTILITIES CALL "MISS UTILITY"
AT 1-800-257-7777 AT LEAST 48 HOURS
BEFORE BEGINNING CONSTRUCTION



Professional Certification:
I hereby certify that these documents were prepared or approved by
me, and that I am a duly licensed Professional Engineer under the laws of the
State of Maryland, License No. 14979, Expiration Date: 7-02-10
Scott D. Roser

REVISIONS		
NO.	DATE	DESCRIPTION

SP-2

PROJECT/CONCEPT DEVELOPMENT PLAN

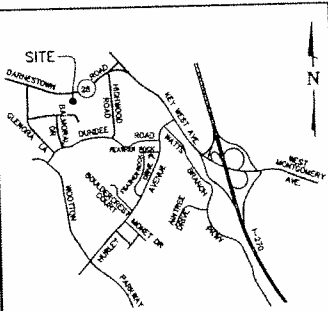
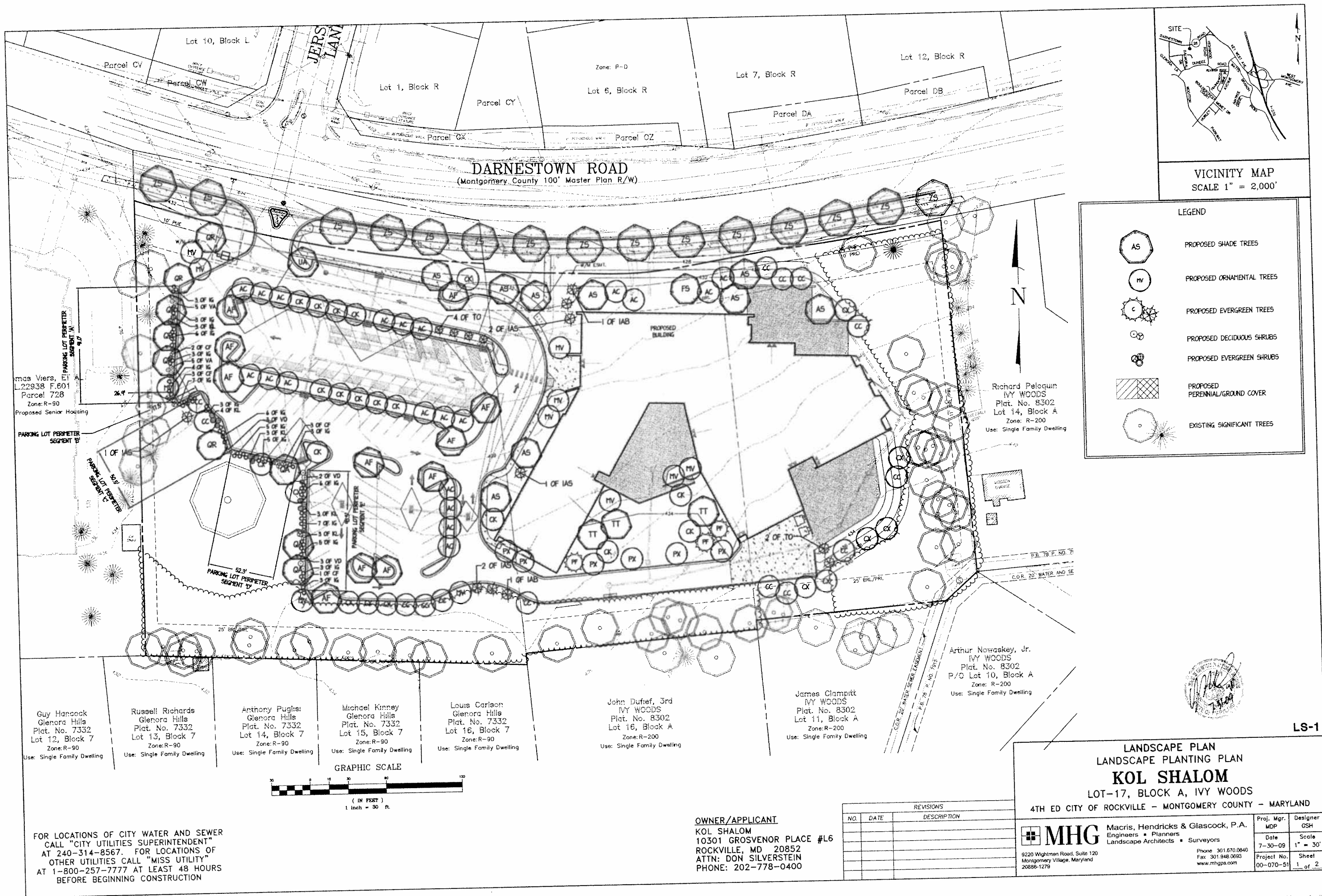
KOL SHALOM

LOT-17, BLOCK A, IVY WOODS (PROPOSED)

4TH ED CITY OF ROCKVILLE - MONTGOMERY COUNTY - MARYLAND

Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone 301.670.0840
Fax 301.948.0693
www.mhgpa.com

Proj. Mgr. MDP	Designer MDP
Date 7-30-09	Scale 1" = 30'
Project No. 00-070-51	Sheet 2 of 2



VICINITY MAP
SCALE 1" = 2,000'

LEGEND



PROPOSED SHADE TREES



PROPOSED ORNAMENTAL TREES



PROPOSED EVERGREEN TREES



PROPOSED DECIDUOUS SHRUBS



PROPOSED EVERGREEN SHRUBS



PROPOSED PERENNIAL/GROUND COVER



EXISTING SIGNIFICANT TREES

Richard Pelequin
IVY WOODS
Plat. No. 8302
Lot 14, Block A
Zone: R-200
Use: Single Family Dwelling

Arthur Nowaskey, Jr.
IVY WOODS
Plat. No. 8302
P/O Lot 10, Block A
Zone: R-200
Use: Single Family Dwelling

James Clappitt
IVY WOODS
Plat. No. 8302
Lot 11, Block A
Zone: R-200
Use: Single Family Dwelling

John Duffel, 3rd
IVY WOODS
Plat. No. 8302
Lot 16, Block A
Zone: R-200
Use: Single Family Dwelling

Louis Carlson
Glenora Hills
Plat. No. 7332
Lot 16, Block 7
Zone: R-90
Use: Single Family Dwelling

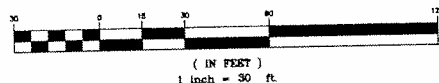
Michael Kinney
Glenora Hills
Plat. No. 7332
Lot 15, Block 7
Zone: R-90
Use: Single Family Dwelling

Anthony Puglisi
Glenora Hills
Plat. No. 7332
Lot 14, Block 7
Zone: R-90
Use: Single Family Dwelling

Russell Richards
Glenora Hills
Plat. No. 7332
Lot 13, Block 7
Zone: R-90
Use: Single Family Dwelling

Guy Hancock
Glenora Hills
Plat. No. 7332
Lot 12, Block 7
Zone: R-90
Use: Single Family Dwelling

GRAPHIC SCALE



FOR LOCATIONS OF CITY WATER AND SEWER
CALL "CITY UTILITIES SUPERINTENDENT"
AT 240-314-8567. FOR LOCATIONS OF
OTHER UTILITIES CALL "MISS UTILITY"
AT 1-800-257-7777 AT LEAST 48 HOURS
BEFORE BEGINNING CONSTRUCTION

OWNER/APPLICANT
KOL SHALOM
10301 GROSVENOR PLACE #L6
ROCKVILLE, MD 20852
ATTN: DON SILVERSTEIN
PHONE: 202-778-0400

REVISIONS		
NO.	DATE	DESCRIPTION



Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors

9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279

Phone: 301.670.0840
Fax: 301.948.0693
www.mhgs.com

Proj. Mgr. MDP	Designer GSH
Date 7-30-09	Scale 1" = 30'
Project No. 00-070-51	Sheet 1 of 2

PLANTING NOTES

- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE, INCLUDING STAKES AND GROUNDCOVER, AND SHALL MAINTAIN AREA IN A NEED AND UNLESS FIRST CONTRACTOR, THEREAFTER, THE ONE YEAR GUARANTEE PERIOD.
- CONTRACTOR SHALL LAY OUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING PER UTILITY PRIOR TO BEGINNING CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 6 FEET FROM ANY EXISTING OR PROPOSED UTILITY. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- QUANTITIES SHOWN ON THE PLAN SHALL GOVERN OVER PLANT LIST QUANTITIES. CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERT BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIALS SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
- ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL PREPARE TAG FOR EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE LISTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE TAGS. FOR THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.). PLANTS SHALL BE PROVIDED FOUR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR SOIL TESTING AND PREPARATION AS OUTLINED IN THE CURRENT EDITION OF THE LANDSCAPE SPECIFICATION GUIDELINES OF THE LANDSCAPE LANDSCAPE CONTRACTORS ASSOCIATION. PREPARATION SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO: THE ADDITION OF SOIL AMENDMENTS, FERTILIZERS AND SUPPLEMENTAL TOPSOIL AS INDICATED BY TESTING AND SURFACE, FINAL GRADE AND FINISH GRADE SOIL PREPARATION.
- MAJOR TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE LOGGED. FAILURE TO MEET MINIMUM SIZE OR ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- ALL PLANTS SHALL BE FIRM, DUAL, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- ALL CONTAINER GROWN PLANTS SHALL BE HEALTHY, UNDAUNTED, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TENDRILS AND GROWTH AND ARE IN A HEALTHY GROWING CONDITION.
- GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS UNIFORM AND WITH SMOOTH CONTINUOUS LINES. ALL PRICED RED EGGS SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CURVATURE OF THE PLANT MASS UNLESS OTHERWISE NOTED. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHADE SHAPE PLANT BED.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER EXCEPT MAJOR TREES NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS.
- TREES SHALL BE LOCATED A MINIMUM OF 3 FEET FROM WALLS AND MAINTAIN WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS PRIOR TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS, UNDER BUILDING OVERHANGS, OR IN DRAINAGE SHADES. SHRUBS PLANTED NEAR PAVING UNITS TO BE LOCATED SO THAT SHRUBS AT MATURETY WILL MAINTAIN 1-FOOT AIRSPACE BETWEEN UNIT AND PLANT.
- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SHADES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPROVE DRAINAGE AWAY FROM BUILDINGS.
- TREE STAKING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- MULCH IS TO BE DOUBLE BARRELED HARDWOOD BARK FOR TREES AND SHRUBS.
- GROWTH OF ROOT FLARE SHALL BE AT GRADE OR NO MORE THAN 3" HIGHER (AFTER SETTLING) THAN ADJACENT SOIL.
- TAGS AND TIES ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-HALF ON ALL TWO PLANT MATERIALS.
- SHRUBS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS UNLESS OTHERWISE NOTED.
- SHRUB TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT FLARE TO THE TOP OF FOLIAGE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE GROUND FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF 1/4" CRACKS THAT COULD BE POINTS OF WEAK LINKS STRUCTURE OR DISEASE INFESTATION.
- SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT. IF SUBMITTED BY THE LANDSCAPE ARCHITECT, REUSE WILL FORWARD SUCH REQUESTS TO THE CITY OF ROCKVILLE FORESTOR AND FINAL APPROVAL OF ANY SUBSTITUTION SHALL BE APPROVED IN WRITING BY THE CITY FORESTOR. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING THAT RESULTS IN LIABILITY TO THE CONTRACTOR.
- ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TREES, TREES AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY AT ALL CURBS, GUTTERS AND SIDEWALKS) DURING INSTALLATION.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR ON A MONTHLY BASIS. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- CONTRACTOR SHALL BE RESPONSIBLE TO RESURFACE, ATTEND-TO, STAKE, TIE, AND TAG ALL LANE AREAS DISTURBED AS THE RESULT OF HIS WORK.
- CONTRACTOR SHALL GUARANTEE TO OWNER ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AND CITY FORESTOR AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS. CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATION GUIDELINES BY THE LANDSCAPE CONTRACTORS ASSOCIATION, NO. CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.
- ANY PLANTING MATERIAL SHOWN ADJACENT TO CONCRETE UNITS SHALL BE PLANTED AS REQUIRED TO SLOUGH THE UNITS. SHADED CONCRETE UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE PLAN IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE MATERIALS AROUND THE CONCRETE UNITS AND TO ADJUST OTHER ADJACENT PLANTING ACCORDINGLY.

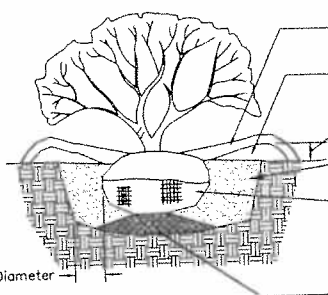
General Planting Notes -- Quality Assurance

- All plant material shall be in accordance with the American Standard for Nursery Stock No. Z60.1-2004, by the American Association of Nurserymen, Inc.
- All plants shall be wholesome, healthy, vigorous, free from plant diseases, insect pests and their eggs, and shall have healthy, normal top and root systems. Plants shall be nursery-grown stock and freshly dug.
- No trees with multiple leaders will be accepted. No sheared evergreens will be accepted.
- Substitutions are not permitted without written permission from the City Forester.

Note:

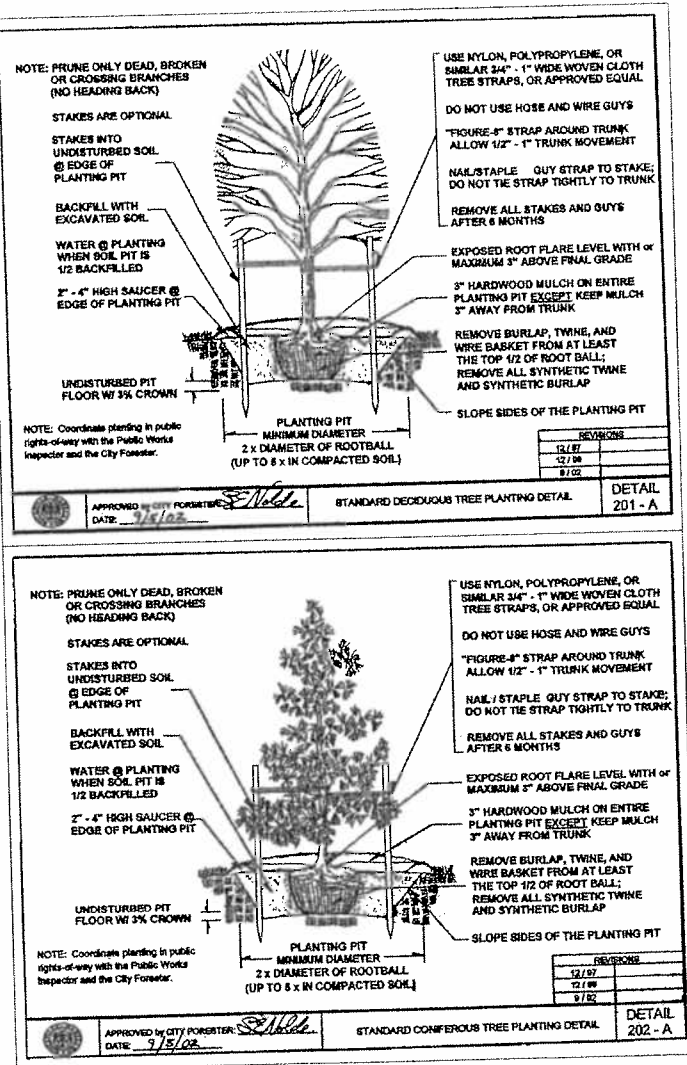
Water @ planting when soil pit is 1/2 ball back filled.

Coordinate planting in public right-of-way with the Public Works Inspector and the City Forester.



Planting Detail
Shrub - City Dtl. #203

Not To Scale



LANDSCAPE PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	SPD	ROOT	NOTES
SHRUB TREES								
AP	11	Acer x freemanii 'Jefferson'	Autumn Blaze Maple	2 1/2'-3'			B4B	
AS	9	Acer saccharum 'Legacy'	Legacy Sugar Maple	2 1/2'-3'			B4B	
FS	1	Fagus sylvatica 'Rivers'	White Oak	2 1/2'-3'			B4B	
QA	3	Quercus alba	White Oak	2 1/2'-3'			B4B	
QR	6	Quercus rubra	Red Oak	2 1/2'-3'			B4B	
TT	3	Tilia tomentosa 'Stargazer Silver'	Silver Linden	2 1/2'-3'			B4B	
UA	1	Ulmus americana 'Valley Forge'	Valley Forge Elm	2 1/2'-3'			B4B	
ZS	15	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2 1/2'-3'			B4B	
EVERGREEN TREES								
IAB	2	Ilex x aquiperny 'Blue Station'	Blue Station Holly	7'-8'			B4B	
IAS	6	Ilex x aquiperny 'San Jose'	San Jose Holly	7'-8'			B4B	
PT	3	Pinus Resinosa 'Vanderwolf Pyramid'	Vanderwolf Pyramid Limb Pine	7'-8'			B4B	
TD	6	Thuja occidentalis 'Tectory'	Mission Arborvitae	7'-8'			B4B	
ORNAMENTAL TREES								
AC	20	Amelanchier canadensis	Servicetree	2 1/2'-3'			B4B	Single stem
CC	14	Cornus canadensis	Eastern Redbud	2 1/2'-3'			B4B	Single stem
CK	11	Cornus x Celestial (Ruland)	Celestial Dogwood	2 1/2'-3'			B4B	Single stem
OK	15	Cornus kousa	Kousa Dogwood	2 1/2'-3'			B4B	Single stem
MM	11	Magnolia virginiana	Sweetbay Magnolia	2 1/2'-3'			B4B	Single stem
PK	6	Prunus x imbrata 'Okan'	Okan Cherry	2 1/2'-3'			B4B	Single stem
DECIDUOUS SHRUBS								
CF	9	Corylus florida	Carolina Alseptic	30-36"			Cont.	48" o.c.
VA	10	Viburnum acerifolium	Mayday Viburnum	24-30"			Cont.	36" o.c.
VD	8	Viburnum dentatum 'Ralph Benson'	Autumn Jazz Viburnum	30-36"			Cont.	48" o.c.
EVERGREEN SHRUBS								
IG	72	Ilex glabra 'Compacta'	Compact Holly	24-30"			Cont.	36" o.c.
KL	16	Kalmia latifolia 'Nipmuck'	Nipmuck Mountain laurel	30-36"			Cont.	48" o.c.

LANDSCAPE REQUIREMENTS

Section 4, 'Landscaping, Screening and Lighting Manual', adopted December 15, 2008 and Article X, Rockville Zoning Ordinance, Sec. 25-431 - 25-438

Landscaping Manual, Sec. 4.d: PARKING LOT LANDSCAPING

4.d.2(a) Landscape Strip Adjoining a Street Right-of-Way

- Required: Minimum 10' width
Provided: N/A (Parking spaces do not adjoin Right-of-Way)
- Required: Minimum 1 Tree per 40 ft. of frontage
Minimum 15 evergreen shrubs per 40 ft. of frontage
Provided: N/A
Berm provided: No

4.d.2(b) Perimeter Landscape Area Adjoining Property Other than R-O-W

- Required: Minimum 7' width (but 7' required setback of adjoining SDU Residential Zone)
Provided: 26.9' minimum
- Required: Minimum 1 shade tree per 40 ft. of lot perimeter (1 Ornamental Tree = .5 Shade Tree)
Minimum 15 shrubs per 40 ft. of lot perimeter (1 Evergreen Tree = 5 Shrubs)

Segment	Length (ft)	Shade Trees Required	Shade Trees Provided	Ornamental Trees Provided	Shade Tree Equivalents Provided	Shrubs Required	Shrubs Provided	Evergreen Trees Provided	Shrub Equivalents Provided
A	91.0	2.3	3	1	3.5	36	37	0	37
B	17.5	0.4	0	1	.5	7	7	0	7
C	50.5	2.4	1	1	1.5*	19	15	1	20
D	52.3	2.4	1	1	1.5*	20	20	0	20
E	101.8	2.3	2	1	2.5	35	36	0	36

*Reduced due to proximity of 52' White Oak and protection of its critical root zone.

Berm provided: No

4.d.2(c) Internal Landscaping of Surface Parking Facility

- Required: Minimum 5% of internal parking facility area to be landscaped with shade trees
Total internal parking facility area = 43,674 s.f.
5% of internal area = 2,184 s.f.
Total internal landscaped area = 7,782 s.f. (17.8%)
Number of trees to be planted in landscaped area:
Shade: 11
Ornamental: 25
Small Evergreen: 4

4.d.2(d) Minimum Size of Planting Islands within Internal Landscape Area

- Required: Islands parallel to parking spaces = 9' wide, min. and 10' long, min.
Provided: 9' wide and 10' long, min., except narrow necks of island extensions at west end of two large islands are 6' wide (measured perpendicular to parking space).
- Required: Islands at the heads of parking spaces = 10' wide, min.
Provided: 10' wide, except island in SE corner is 7' wide.

4.d.3(a) Residential Zone Standards

- Required: Minimum 10' wide buffer area for parking spaces located along side or rear property lines abutting residential properties
Provided: See Alternate (iv), below
 - Required: Minimum 1 shade tree per 35' of buffer area (or accepted substitutes)
Provided: See Alternate (iv), below
 - Required: Minimum 15 shrubs per 35' of buffer area (or accepted substitutes)
Provided: See Alternate (iv), below
 - Alternate: Minimum 20' setback in lieu of buffer
Minimum 1 shade tree per 35' of property line (or accepted substitutes)
Southern property line:
Buffer Area = 330' long (includes parking spaces and drive aisles)
Shade Trees required: 9
Western property line:
Buffer Area = 239' long
Shade Trees required: 7
- Provided: Southern property line:
Minimum 37' wide setback for drive aisle
Adjacent to parking spaces:
Minimum 46' wide setback
1 Shade tree, 9 ornamental trees, 3 evergreen trees, and existing forest to remain, including 7 significant shade trees
Adjacent to proposed drive aisle:
Proposed retaining wall, tapering from 2' to 7' high.
Proposed forest planting, including 7 significant shade trees to remain
Western property line:
Minimum 26' wide setback for parking spaces
9 proposed shade Trees
6 existing shade trees to remain

Zoning Ordinance, Article X, SCREENING AND LANDSCAPING REQUIREMENTS

Sec. 25-436, Screening of mechanical equipment.

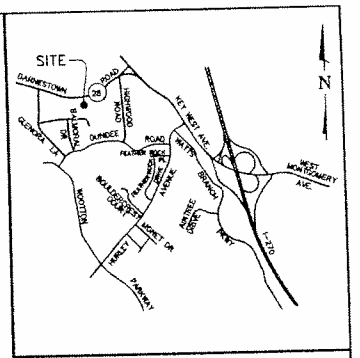
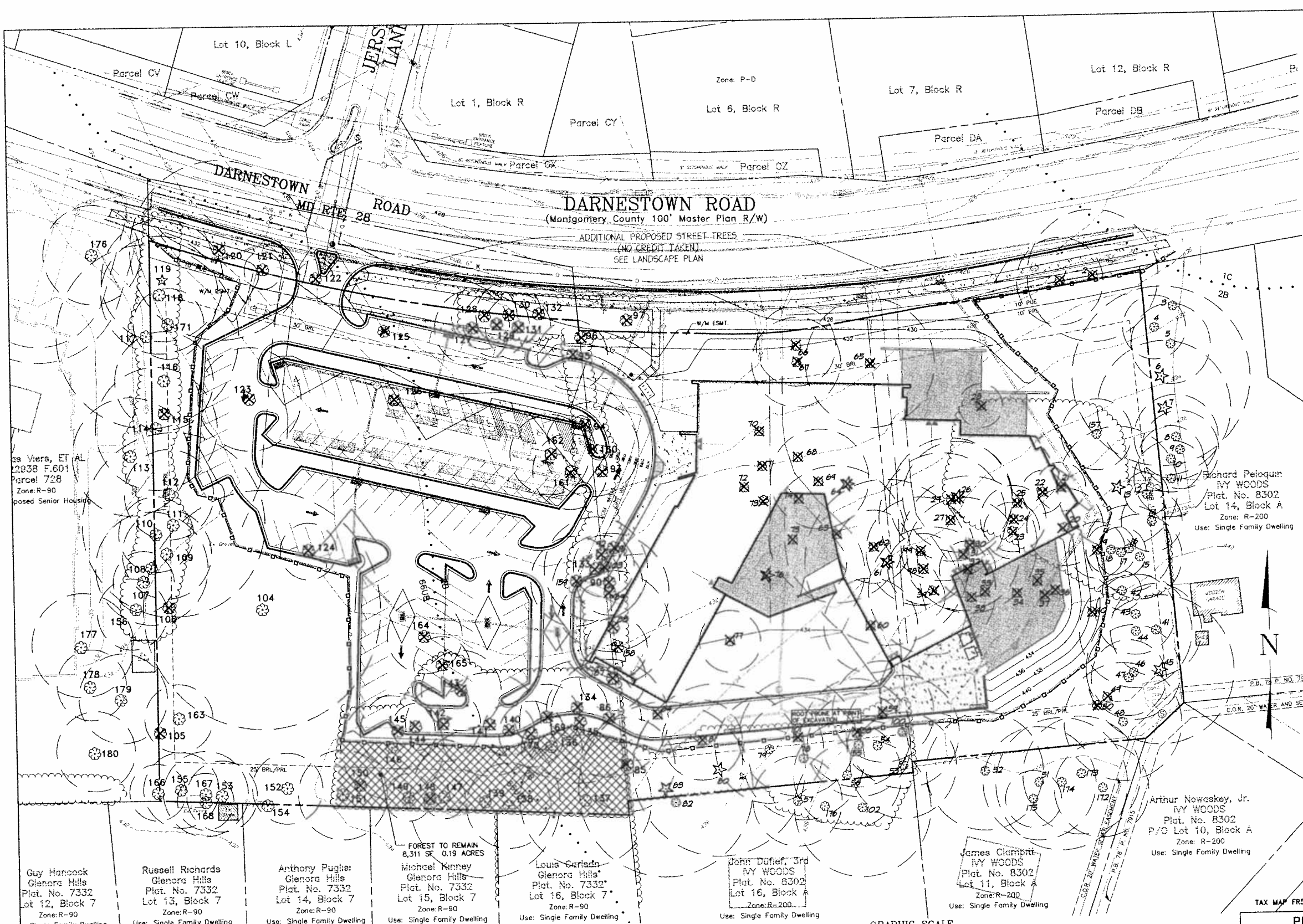
- Required: Appropriate screening
- Provided: 7' high retaining wall, 6 proposed ornamental trees at top of wall, and existing shade trees to remain.

LANDSCAPE PLAN
LANDSCAPE PLANTING DETAILS
KOL SHALOM
LOT-17, BLOCK A, IVY WOODS
4TH ED CITY OF ROCKVILLE - MONTGOMERY COUNTY - MARYLAND

MHG Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone 301.670.0840
Fax 301.948.0893
www.mhga.com

Proj. Mgr. Designer
MDP GSH
Date Scale
7-30-09 1" = 30'
Project No. Sheet
00-070-51 2 of 2

LS-2



VICINITY MAP
SCALE 1" = 2,000'

LEGEND

- ☆ Specimen Tree
- ⊗ Significant Tree
- Critical Root Zone
- ✕ Trees to be Removed
- ▨ Forest Saved (0.19 AC)
- Limits of Disturbance
- Tree Protection Fence and Root Pruning

NOTE: Tree Protection Fence shall be installed on top of the Limits of Disturbance. For purposes of legibility only, the Tree Protection Fence is graphically represented adjacent to the LOD.

JUSTIFICATION FOR FEE-IN-LIEU PAYMENT

The balance of the Tree Replacement requirement (20 trees) is to be met with the payment of a fee-in-lieu. The justification for this is two-fold:

1. High planting requirements: The site contains many mature trees that will need to be removed. There is a total forest planting requirement of 1.54 acres, and a tree replacement requirement of 132 trees.
2. Limited planting areas: The use proposed by this plan, and the area needed for the building and parking lot, leaves enough area for adequate screening and a significant amount of tree cover. However, the proposed use, along with the need to protect existing critical root zones and the need to provide some open space for community gatherings, does not leave enough area on site to meet the entire tree replacement requirement.

Tree Note

Tree conditions shown herein are generally accurate based on visual observation per usual and customary practice in accord with State forest conservation legislation. The examination detail required to provide a comprehensive analysis of biological and structural health is beyond the scope of this investigation. Every condition that could possibly lead to tree or limb failure cannot always be detected. Trees are living organisms that may fail in many ways we do not fully understand. Conditions are often hidden within the trees and below the ground. It cannot be guaranteed that a tree will be healthy or safe under all circumstances, or for a specified period of time. Sometimes trees may appear "healthy," but may be structurally unsound. Condition ratings of trees are based solely on the opinion of MHG and may be inconsistent with the opinion of the City of Rockville Forestry Staff. MHG assumes no liability for injury or property damage that may occur as a result of tree failure on this property.

TAX MAP FR563

FCP-1
WSSC 219NW09

PRELIMINARY FOREST CONSERVATION PLAN
LOT-17, BLOCK A, IVY WOODS
KOL SHALOM
LOT 17, BLOCK A, IVY WOODS
4TH ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

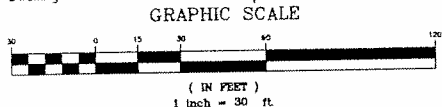


Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone: 301.970.0640
Fax: 301.948.0693
www.mhga.com

Proj. Mgr. MDP	Designer GSH
Date 7-30-09	Scale 1" = 30'
Project No. 00.070.51	Sheet 1 of 4

REVISIONS		
NO.	DATE	DESCRIPTION

OWNER/APPLICANT
KOL SHALOM
10301 GROSVENOR PLACE #L6
ROCKVILLE, MD 20852
ATTN: DON SILVERSTEIN
PHONE: 202-778-0400



FOREST CONSERVATION PLAN CERTIFICATION

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

7/30/09
DATE

Georges S. Hendricks
BY: GEORGES S. HENDRICKS
REGISTERED LANDSCAPE ARCHITECT
MARYLAND REG. NO. 3243

Guy Hancock
Glenora Hills
Plat. No. 7332
Lot 12, Block 7
Zone: R-90
Use: Single Family Dwelling

Russell Richards
Glenora Hills
Plat. No. 7332
Lot 13, Block 7
Zone: R-90
Use: Single Family Dwelling

Anthony Pugliese
Glenora Hills
Plat. No. 7332
Lot 14, Block 7
Zone: R-90
Use: Single Family Dwelling

Michael Kinney
Glenora Hills
Plat. No. 7332
Lot 15, Block 7
Zone: R-90
Use: Single Family Dwelling

Louis Carlson
Glenora Hills
Plat. No. 7332
Lot 16, Block 7
Zone: R-90
Use: Single Family Dwelling

John Duffie, 3rd
IVY WOODS
Plat. No. 8302
Lot 16, Block A
Zone: R-200
Use: Single Family Dwelling

James Clambitt
IVY WOODS
Plat. No. 8302
Lot 11, Block A
Zone: R-200
Use: Single Family Dwelling

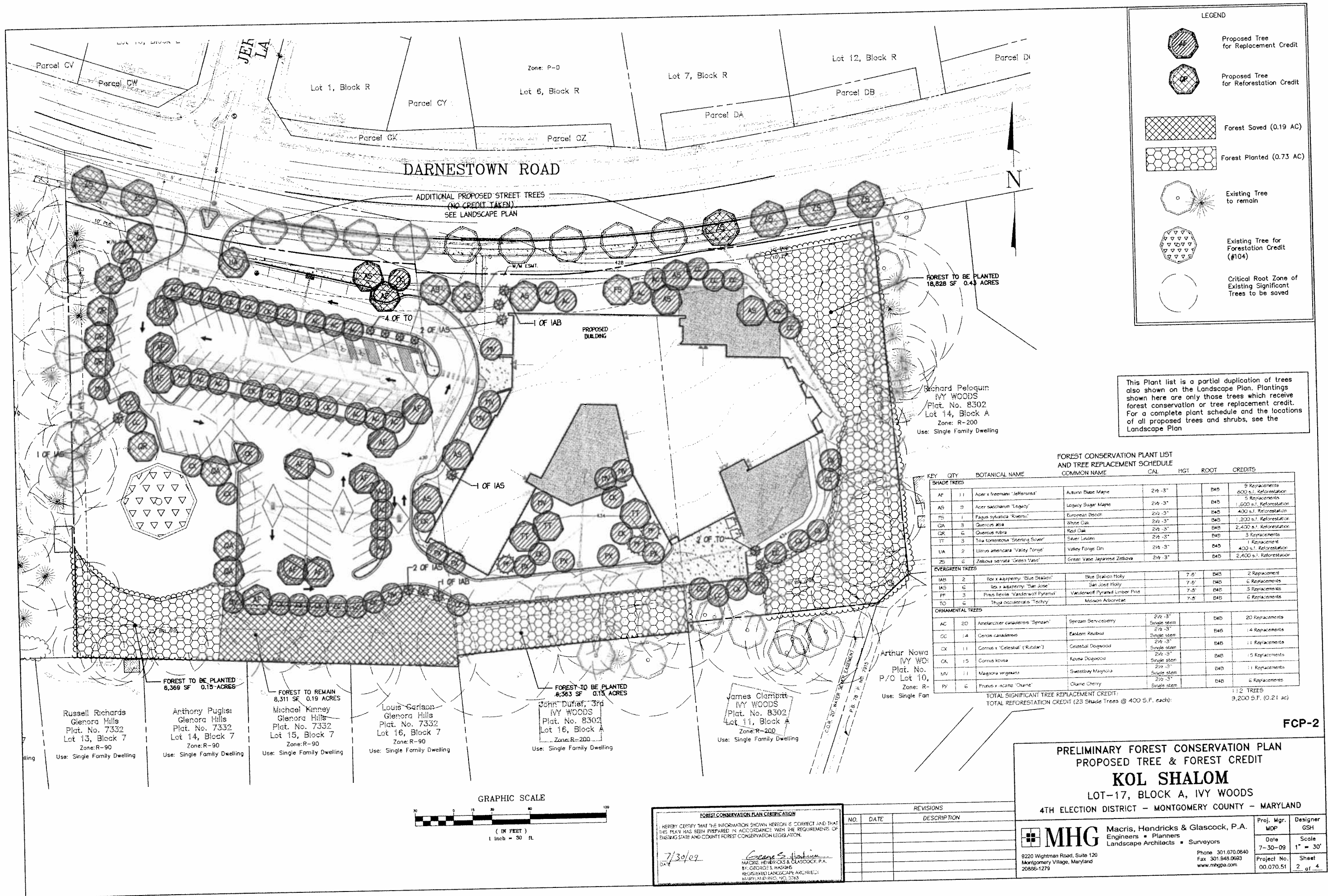
Arthur Newskey, Jr.
IVY WOODS
P/O Lot 10, Block A
Zone: R-200
Use: Single Family Dwelling

Richard Pelouquin
IVY WOODS
Plat. No. 8302
Lot 14, Block A
Zone: R-200
Use: Single Family Dwelling

MINIMUM TREE COVER TABLE

SITE AREA	197,637 S.F.
MTC REQUIRED (zone R-200 = 20%)	39,527 S.F.
MTC PROVIDED	78,871 S.F.
143 IND. TREES PLANTED ON SITE:	39,000 S.F.
ON-SITE FOREST PLANTED:	31,560 S.F.
ON-SITE EX. FOREST SAVED:	8,311 S.F.

TREES COUNTING FOR REFORESTATION & SIGNIFICANT REPLACEMENT CAN ALSO COUNT FOR MTC.





Forest Conservation Notes

Pre-Construction:

Permittee shall obtain a Forestry Permit (FTP) for the project and secure copies of the approved Forest Conservation Plan (FCP) for distribution to contractors. An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged, but before any clearing or grading begins. Attendees shall include the permittee, construction superintendent, Maryland Licensed Tree Expert/International Society of Arboriculture Certified Arborist (if required by the Forestry Inspector), City Forestry Inspector (telephone: 240-314-8713), and City sediment control inspector. It is the permittee's responsibility to coordinate and schedule the pre-construction meeting.

No clearing or grading shall begin before stress reduction measures as indicated on the approved Forest Conservation Plan (FCP), or as otherwise directed by the Forestry staff, have been implemented and approved by Forestry staff, unless otherwise permitted by Forestry staff. Stress reduction measures may include but are not limited to:

- A. Root pruning.
- B. Crown pruning.
- C. Watering.
- D. Surface mulching.
- E. Vertical mulching.

A Maryland Licensed Tree Expert AND International Society of Arboriculture Certified Arborist must perform all stress-reduction measures. Forestry staff may require documentation of these licenses. Documentation of stress reduction measures may be required and shall be sent to the City Forester at 14625 Rothgeb Drive, Rockville, Maryland 20850.

Temporary tree protection devices shall be installed in accordance with the FCP, or as otherwise directed by Forestry staff, prior to any construction activities such as installing sediment control measures, clearing or tree removal, etc. The permittee must contact the Forestry Inspector to schedule a follow up construction inspection after installing all tree protection measures and performing all stress reduction measures. Upon a satisfactory inspection by the Forestry Inspector and Sediment Control Inspector, a Notice to Proceed will be issued and clearing and grading can commence.

The contractor shall maintain temporary protection devices for the duration of the construction project and the location must not be altered without prior approval of the Forestry Inspector. No equipment, trucks, materials, debris, or any other items may be stored within the tree protection fence areas during the entire construction project. No access to the fenced area will be permitted. Tree protection fencing shall not be removed without prior approval of the Forestry Inspector.

Long-term tree protection devices/techniques (as shown on the FCP or as directed by the Forestry Inspector) may include but are not limited to:

- A. Root aeration systems.
- B. Retaining walls.
- C. Raised sidewalks.
- D. Tunneling of utilities.
- E. Pier and panel walls.
- F. Porous pavers.

Long-term protection devices/techniques will be installed/implemented per the Forest Conservation Plan and attached details or as directed by the Forestry Inspector. Installation will occur when required by the Forestry Inspector.

Periodic inspections at the discretion of the City Forestry staff will occur during the construction project. Corrections and repairs to all tree protection devices, and other protective measures as requested by the Forestry staff, must be done by the required date. Failure to comply with the approved FCP or any directive of Forestry staff is a violation of the Forest and Tree Preservation Ordinance (FTPO). Pursuant to Section 10.5-34 of the FTPO, a fine in the amount of \$1,000 may be imposed for each violation. Each day a violation continues is a separate violation. In addition, a stop work order may be issued until the violation has been abated and fine has been paid or an appeal has been filed pursuant to Section 10.5-35 of the FTPO. Additional punitive measures as stated under Section 10.5-34 of the FTPO may be imposed.

Post-Construction:

An inspection shall be requested in writing by the permittee after construction is completed. Corrective measures may be required for existing trees and/or forest areas, which may include, but are not limited to, the following:

- Removal and replacement of dead or dying trees.
- Pruning of damaged, dead or declining limbs.
- Surface mulching.
- Soil aeration.

- Fertilization.
- Watering.
- Wound repair.
- Cleanup of debris.

After inspection and approval of corrective measures by the City Forester, all temporary protection devices shall be removed from the site. No additional grading, sodding, or burial of debris may take place.

Planting:

The permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The permittee shall ensure that the Landscape Contractor is able to secure the plants shown the FCP/Landscape Plan. Plant substitutions are not allowed. It is recommended that plant material be secured by the project start date.

A pre-planting is meeting required before installation of landscaping, afforestation or reforestation. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector by calling 240-314-8713. Attendees must include the permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1). All details of the planting plans with regard to plant quality and proper planting will be discussed including but not limited to:

- Plant quality
 - Proper form for species
 - Proper ratio of caliper size/height to container size/rootball size.
 - Proper pruning cuts if applicable (generally there should be no recent pruning)
 - No co-dominant stems or multiple trunks (unless approved by City Forester)
 - Sound graft union
 - Free of girdling roots, or the ability to remove girdling roots without damaging the tree
 - Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage
- Proper planting
 - Root flare no higher than 3 inches from existing grade
 - Exposed root flare (not graft). Removing more than several inches of soil to expose the root flare may result in the rejection of the plant material.
 - Wire baskets/twine/burlap removed from top half of root ball
 - All synthetic burlap or twine removed completely
 - No hose and wire, staking and guying per City planting detail
 - Hole a minimum of twice the width of the root ball
 - Mulched properly per City planting detail
 - Wildlife protection installed (if required and type approved by the Forestry Inspector)

Trees not complying with above may be rejected at the discretion of the City Forester. Tree planting will generally not be permitted between the dates of June 1 and September 1 or when the ground is frozen.

Post Planting:

The permittee shall notify the City Forester IN WRITING when the planting is complete and request a post planting inspection. The inspection must include the permittee, landscape contractor and Forestry Inspector. The maintenance and warranty period will not begin until the City Forester has accepted ALL plantings. Trees will be inspected for plant quality and proper planting in accordance with City specifications and nursery standards. Once the maintenance period has begun, the applicant is responsible for maintaining plant health in accordance with the signed Warranty and Maintenance Agreement. Routine inspections will be conducted throughout the warranty period and the applicant will be notified in writing when corrective measures are required. Failure to complete the corrective measures by the given date may result in fines being issued, permits revoked, extension of warranty period or other punitive measures. Such maintenance shall include when appropriate, but not necessarily be limited to:

- Watering, fertilizing and control of competing vegetation throughout the maintenance period as necessary.
- Pruning, mulching, tightening and removal of strapping and stakes within 6 months, resetting of plants to proper grades or upright position, and furnishing and applying such sprays or other items necessary to thwart damage from insects and disease.
- Providing protection measures such as fencing and interpretive signs as necessary, to prevent destruction or degradation of the planting site.
- Replacement of dead and dying trees. Survival standards contained in the Forest Conservation Manual shall be followed for the protection and satisfactory establishment of forest where applicable.
- Eradicate, suppress and control non-native invasive plant species during the maintenance period to the satisfaction of the City Forester.
- Installing and maintaining devices to protect against wildlife damage.
- Removal of staking and strapping after six months.

Non-Native and Invasive Plant Control:

The City of Rockville maintains a list of exotic and invasive plants and Best Management Practices for select plants on the City's website. The permittee shall submit a Non-Native and Invasive Management Plan to the City Forester for review and approval prior to the preplanting meeting. Details to be included in the management plan are:

- Narrative stating the location, type and amount of exotic and invasive plants present on the site.
- Proposed treatment measures and methods of control by plant type.
- Timing and frequency of treatments by plant type.
- Proposed signage type and locations for installing signs.
- Copies of contractor certifications/Pesticide licenses.

Contractor is responsible for complying with MDE, EPA and other government agency regulations as well as obtaining proper permits from these agencies as applicable. The Forestry Inspector must be notified 48 hours in advance prior to commencing any and all treatments. Forestry staff will perform periodic inspections of the exotic and invasive treatments throughout the warranty and maintenance period.

CITY OF ROCKVILLE FOREST CONSERVATION WORKSHEET March 2009

NET TRACT AREA:		
A. Total tract area	4.54	
B. Deductions (land dedication not in construction on this plan, other deductions - specify)	0.00	
C. Net Tract Area	4.54	
LAND USE CATEGORY:		
ZONING: R-400, R-200, R-80, R-75, RMD10, R-40, R-150, RMD15, RMD25, I-L, I-H, RPR, RPC, MXT, MXC, MXNC, MXB, MXE, MXCD, MXTD		
Place a "1" under the column corresponding to the correct zone of the site.		
Zone: (choose only one)	1	0
D. Afforestation Threshold	20%	x F = 0.91
E. Conservation Threshold	30%	x F = 1.36
EXISTING FOREST COVER:		
F. Existing forest cover (within net tract)	0.35	
G. Area of forest above conservation threshold	0.00	
BREAK EVEN POINT:		
H. Break-even Point (amount of forest retained so that no mitigation is required)	0.00	
I. Clearing permitted without mitigation	0.00	
PROPOSED FOREST CLEARING:		
J. Total area of forest to be cleared	0.16	
K. Total area of forest to be retained	0.19	
PLANTING REQUIREMENTS:		
L. Reforestation for clearing above conservation threshold	0.00	
M. Reforestation for clearing below conservation threshold	0.48	
N. Credit for retention above conservation threshold	0.00	
P. Total reforestation required	0.48	
Q. Total afforestation required	0.56	
R. Total planting requirement	1.04	

FORESTATION REQUIREMENT: 1.04 Acre
Forest Planting to be met on-site: 0.73 Acre
Tree #104 credit: 0.10 Acre
Tree Planting for Credit: 0.21 Acre
Total met on-site: 1.04 Acre

Tree #104 Credit:

CRZ s.f. = 18,027 s.f.
CTLA Rating = 97%
CRZ disturbed = 4,309 s.f.
% Undisturbed = 76%
25% of CRZ = 4,507 s.f. or 0.10 ac.

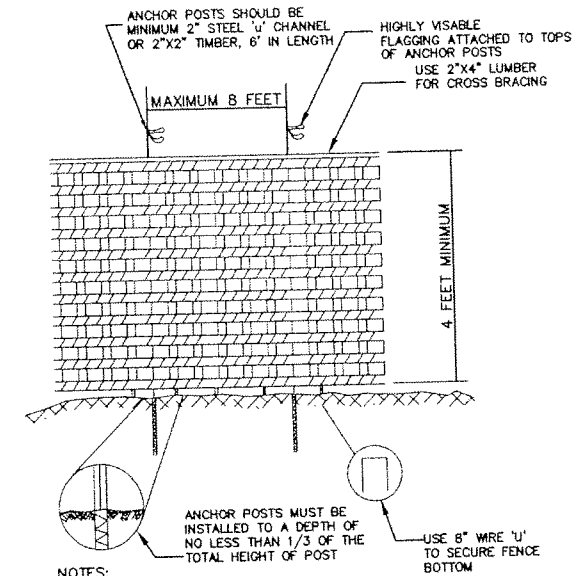
NOTES:

1. PRUNING AND SELECTIVE REMOVAL OF THE SAVE TREES MAY BE REQUIRED PER THE CITY FORESTER'S DIRECTION. ANY SIGNIFICANT TREES TO BE REMOVED AT THE DIRECTION OF THE FORESTRY INSPECTOR WILL REQUIRE REPLACEMENT.

2. SOME TREES MAY BE REQUIRED BY CITY OF ROCKVILLE FORESTRY INSPECTOR TO BE LIMB PRUNED BY LITE/ISA CERTIFIED ARBORIST.

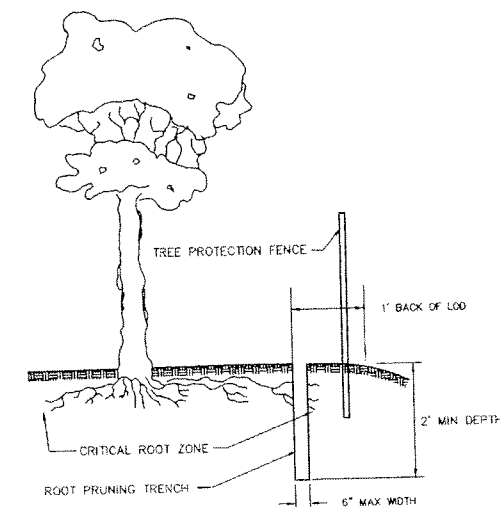
3. WHERE APPLICABLE, SILT FENCE SHALL BE INSTALLED IN THE ROOT PRUNING TRENCH. TREE PROTECTION FENCE TO BE INSTALLED BEHIND THE SILT FENCE. WHEN SUPER SILT FENCE IS USED NO TREE PROTECTION FENCE IS NEEDED.

4. ROOT PRUNING LOCATIONS ALONG LOD MAY BE ADJUSTED BY CITY OF ROCKVILLE FORESTRY INSPECTOR AT PRECONSTRUCTION MEETING.



- NOTES:
1. Forest protection device only.
 2. Retention Area will be set as part of the review process.
 3. Boundaries of retention Area should be staked and flagged prior to installing device.
 4. Root damage should be avoided.
 5. Protective signage is required.
 6. Device should be maintained throughout construction.

BLAZE ORANGE MESH PLASTIC TREE PROTECTION FENCE



- NOTES:
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS.
 2. BOUNDARIES OF RETENTION AREAS SHOULD BE STAKED AND FLAGGED PRIOR TO TRENCHING.
 3. EXACT LOCATION OF THE TRENCH SHOULD BE FIELD LOCATED.
 4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED FROM TRENCH OR FILL WITH OTHER HIGH ORGANIC SOIL.
 5. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

ROOT PRUNING DETAIL

FCP-3

PRELIMINARY FOREST CONSERVATION PLAN
NOTES AND DETAILS
KOL SHALOM
LOT-17, BLOCK A, IVY WOODS
4TH ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

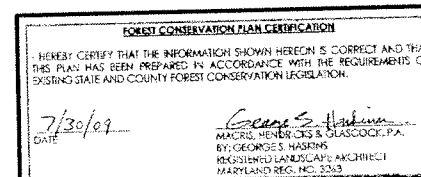


Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors

9220 Wighman Road, Suite 120
Montgomery Village, Maryland
20886-1279

Phone 301.670.0840
Fax 301.948.0693
www.mhga.com

Proj. Mgr. MDP	Designer GSH
Date 7-30-09	Scale AS NOTED
Project No. 00.070.51	Sheet 3 of 4



REVISIONS	
NO.	DESCRIPTION

ON-SITE FOREST CONSERVATION PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	ROOT
10	Quercus alba	White Oak	2"		B&B
10	Quercus rubra	Red Oak	2"		B&B
10	Liriodendron tulipifera	Tulip Poplar	2"		B&B
10	Nyssa sylvatica	Black Gum	2"		B&B
9	Cercis canadensis	Eastern Redbud	2"		B&B
12	Ilex opaca	American Holly		7-8'	B&B
12	Juniperus virginiana	Eastern Red Cedar	2"		B&B

NOTES:

1. The 0.73 acre Planting Area will be planted with the above plant material at a rate of 100 2" caliper trees/acre x 0.73 acres = 73 trees
2. The mix of trees planted shall be 67% hardwood species (49 trees) and 33% evergreen species (24 trees) planted 12' to 15' on-center.
3. Substitutes are not permitted unless previously approved in writing by the Forestry Inspector.
4. Limits of Reforestation Area must be staked by surveyor prior to the pre-planting meeting with the Forestry Inspector.

Forest Conservation Bond Requirements:

On-site Trees for Reforestation: 23 trees x \$300

On-site Trees for Replacement: 112 trees x \$300

On-site Forest Planting: \$5 per sf x 31,560 sf (0.73 ac)

Total Bond Amount

TOTAL TREE REPLACEMENT REQUIREMENT: 132 TREES

Trees to be provided on-site: 112

Trees to be met via fee-in-lieu (\$1,500 ea.): 20 = \$30,000

FOREST CONSERVATION PLAN CERTIFICATION

HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

George S. Hudson
MARJORIE HENDERICKS & GLASCOCK, P.A.
BY: GEORGE S. HUDSON
REGULATORY LAND-USE ARCHITECTS
MARYLAND REG. NO. 32643

7/30/69
DATE



- [illegible]

2"-3" Clear Around Trunk
Or Main Plant Stem

Create 2"-3" Saucer Rim
w/Prepared Soil Mix

Set Crown Above
Surrounding Grade

• 1/4 Depth of Ball

Prepared Soil Mix

Remove Burlap, Twine, Rope, Wire,
etc. from Top 1/3 Of Root Ball

Remove Shrub From All Containers
And Vertically Silt Root Ball w/Sharp
Knife Every 4"-6" Around Ball

Diameter



General Planting Notes -- Quality Assurance

- # PRELIMINARY FOREST CONSERVATION PLAN

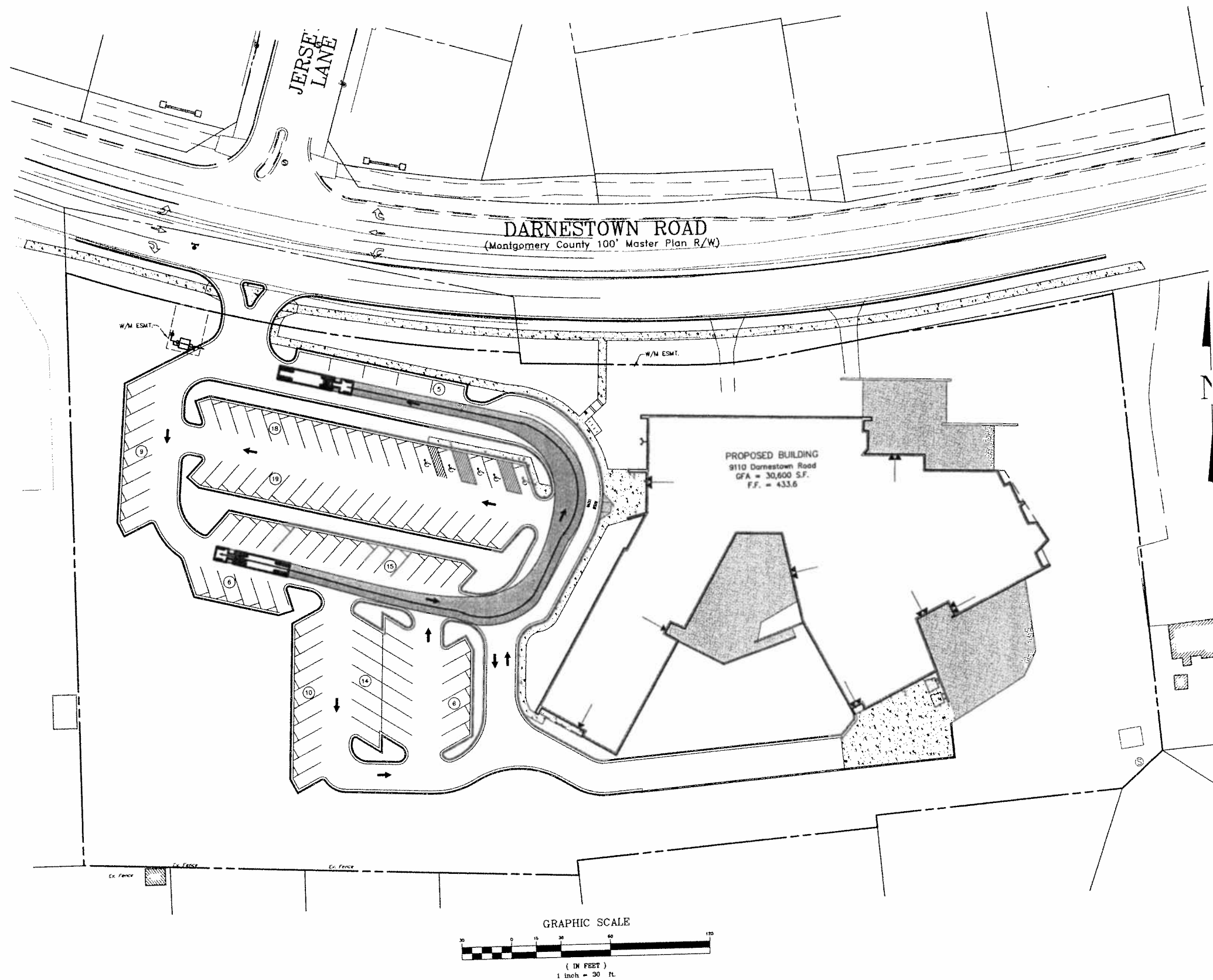
NOTES AND DETAILS

KOL SHALOM

LOT 17, BLOCK A, IVY WOODS


4TH ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

I:\0070\dwg\EX_51_VEHICLE.dwg, 24/03/08 CITY SITE PLAN, 7/3/2008 7:24:12 AM, Copyright 2008 Macris, Hendricks, & Glascock, P.A.



VEHICLE MOVEMENT EXHIBIT

KOL SHALOM
LOT-17, BLOCK A, IVY WOODS
4TH ED CITY OF ROCKVILLE - MONTGOMERY COUNTY - MARYLAND

 MHG 9220 Wightman Road, Suite 120 Montgomery Village, Maryland 20886-1279	Macris, Hendricks & Glascock, P.A. Engineers • Planners Landscape Architects • Surveyors		Proj. Mgr. MDP	Designer MDP
	Phone 301.670.0840 Fax 301.948.0693 www.mhga.com		Date 7-30-09	Scale 1" = 30'
	Project No. 00-070-51		Sheet 1 of 1	

KOL Shalom

An architectural rendering of a proposed modern building, likely a library or academic center. The building features a prominent glass-enclosed entrance and a multi-story structure with horizontal bands. The foreground shows a paved plaza with several people walking and a person on a bicycle. Large trees and shrubs are planted around the building, and a large tree is visible on the left side of the image. The sky is overcast.

A0.1	COVER
A1.0	SITE PLAN
A1.1	FIRST FLOOR PLAN
A1.3	BASEMENT PLAN
A1.4	ROOF PLAN
A3.0	ELEVATIONS
A3.1	ELEVATIONS

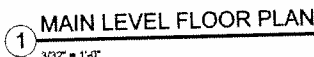
Designs and drawings are protected by copyright, and may not be reused, copied or reproduced without the expressed written consent of the entity above.

Owner's representative Blake Real Estate Inc.
1150 Connecticut Avenue, NW
Suite 801
Washington, D.C. 20036
202.778.0400 tel
202.223.9636 fax

[illegible]

A0.1

COVER



A1.1

FLOOR PLAN

Shinberg Lewinas Architectural Design L.L.C.	4733 Bethesda Avenue Suite 550 Bethesda, Maryland 20814	301.652.8550 tel 301.652.1999 fax
Copyright 2008 Architectural Design, L.L.C.	Designs and drawings are protected by copyright, and may not be reused, copied or reproduced without the expressed written consent of the entity above.	

Structural Engineers	Shenro Engineering, L.L.C. 19536 Club House Road Suite 125 Montgomery Village, MD 20886 301.990.9659 tel 301.990.9655 fax
Civil Engineers	Macris, Hendricks and Glascock, P.A. 2202 Wightman Road Suite 120 Montgomery Village, MD 20886 301.670.0840 tel 301.948.0693 fax
MEP Engineers	Capitol Engineering Group, L.L.C. 1522 K Street, NW Suite 975 Washington, D.C. 20005 202.216.0039 tel 202.216.0067 fax
Owner's representative	Blake Real Estate Inc. 1150 Connecticut Avenue, NW Suite 801 Washington, D.C. 20036 202.778.0400 tel 202.223.9636 fax

Issue Date

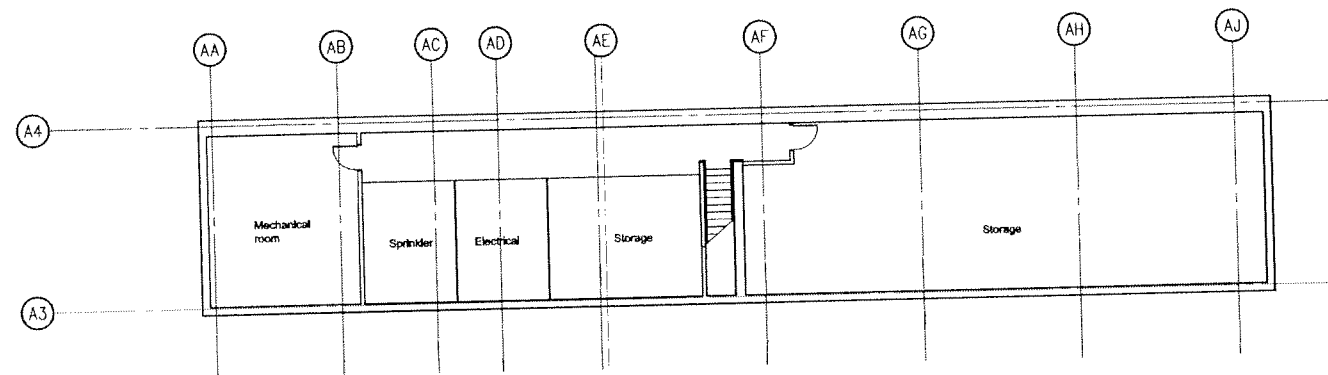
[illegible]

**Kol Shalom
Synagogue**
Rockville, MD

Pre-Application Meeting Submission

A1.3

BASEMENT PLAN



1 BASEMENT PLAN
3/32" = 1'-0"

shinberg.levinas

Shinberg Levinas
Architectural Design
L.L.C.

4733 Bethesda Avenue
Suite 550
Bethesda, Maryland
20814

301.652.8550 tel
301.652.1999 fax

Copyright 2009
Architectural
Design, L.L.C.

Designs and drawings are
protected by copyright, and
may not be reused, copied
or reproduced without the
expressed written consent
of the entity above.

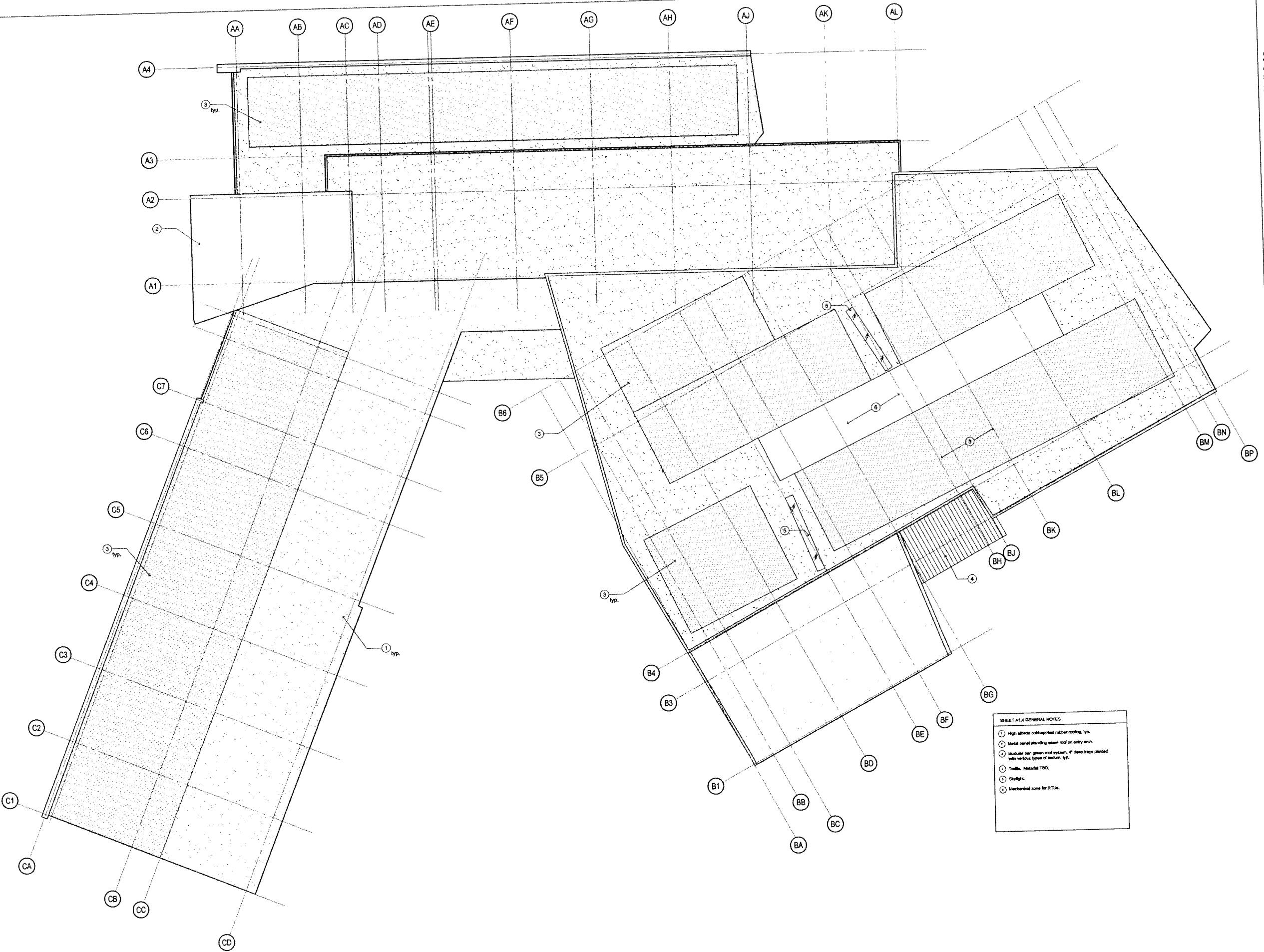
Structural Engineers	Shenno Engineering, L.L.C. 19636 Club House Road Suite 125 Montgomery Village, MD 20886 301.990.9559 tel 301.990.9555 fax
Civil Engineers	Macris, Hendricks and Glasscock, P.A. 9220 Wightman Road Suite 120 Montgomery Village, MD 20886 301.670.0840 tel 301.948.0693 fax
MEP Engineers	Capitol Engineering Group, L.L.C. 1522 K Street, NW Suite 975 Washington, D.C. 20005 202.216.0039 tel 202.216.0067 fax
Owner's representative	Blake Real Estate Inc. 1150 Connecticut Avenue, NW Suite 801 Washington, D.C. 20036 202.778.0400 tel 202.223.9636 fax

Issue Date	
02-23-09	Pre-application package

Kol Shalom
Synagogue
Rockville, MD

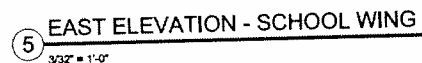
Pre-Application
Meeting
Submission

A1.4
ROOF PLAN



SHEET A1.4 GENERAL NOTES	
1	High albedo cold-applied rubber roofing, typ.
2	Metal panel standing seam roof on entry arch.
3	Modular pre-green roof system, 4" deep trays planted with various types of sedum, typ.
4	Trusses, Material TBD.
5	Skylight.
6	Mechanical zone for RTUs.

1 ROOF PLAN
3/32" = 1'-0"



- | SHEET A1.1: GENERAL NOTES | |
|---------------------------|--|
| 1 | Stucco system with integral weeps and building paper on plywood substrate. |
| 2 | Steel trills for growing evergreen vines; "green screen". Green screens will be structurally independent of main building structure. |
| 3 | Storefront system, typical of all window openings. |
| 4 | Marble-till clarency constructed of storefront components, typical. |
| 5 | Metal- clad metal entry piece w/ overhang for protection from weather. |
| 6 | Storefront system with butt-glazing detail. |
| 7 | Masonry veneer wall; combination of different precast slabs and textures w/ accent brick and accent precast relief panels. |
| 8 | Custom stained glass entry with storefront structural components to match other building openings. |
| 9 | Metal coping/gravel steps. |
| 10 | Interlocking block CMU wall (see sheet A3.1). |
| 11 | Not used. |
| 12 | Bench. |
| 13 | School wing covered entry. |
| 14 | Steel and wood trills. |
| 15 | Kitchen/service entry. |
| 16 | 4' tall masonry landscape/garden wall. |
| 17 | Roof top mechanical units. |
| 18 | Stucco reveal line. |

Structural Engineers	Sherrin Engineering, L.L.C. 19636 Quib House Road Suite 125 Montgomery Village, MD 20886 301.960.9559 tel 301.990.9655 fax
Civil Engineers	Mazur, Hendricks and Glascock, P.A. 9220 Wightman Road Suite 120 Montgomery Village, MD 20886 301.670.0840 tel 301.948.0693 fax
MEP Engineers	Capitol Engineering Group, L.L.C. 1522 K Street, NW Suite 975 Washington, D.C. 20005 202.216.0039 tel 202.216.0067 fax
Owner's representative	Blake Real Estate Inc. 1150 Connecticut Avenue, NW Suite 801 Washington, D.C. 20036 202.773.0400 tel 202.773.9636 fax

Issue Date

[illegible]

**Kol Shalom
Synagogue**
Rockville, MD

Pre-Application Meeting Submission

A3.0

ELEVATIONS

Shinberg Levitas 4733 Bethesda Avenue 301.652.8550 tel
Architectural Design Suite 550 301.652.1999 fax
L.L.C. Bethesda, Maryland

Copyright 2009
Architectural
Design, L.L.C.

Structural Engineers	Shemro Engineering, L.L.C. 19636 Club House Road Suite 125 Montgomery Village, MD 20886 301.990.9559 tel 301.990.9555 fax
----------------------	--

Civil Engineers	Macrie, Hendricks and Glascock, P.A. 9220 Wightman Road Suite 120 Montgomery Village, MD 20886 301.670.0840 tel 301.948.0693 fax
-----------------	---

MEP Engineers Capitol Engineering Group, L.L.C.
1622 K Street, NW
Suite 975
Washington, D.C. 20005
202.216.0039 tel
202.216.0067 fax

Owner's representative Blake Real Estate Inc.
1150 Connecticut Avenue, NW
Suite 801
Washington, D.C. 20036
202.778.0400 tel
202.223.9636 fax

Issue Date

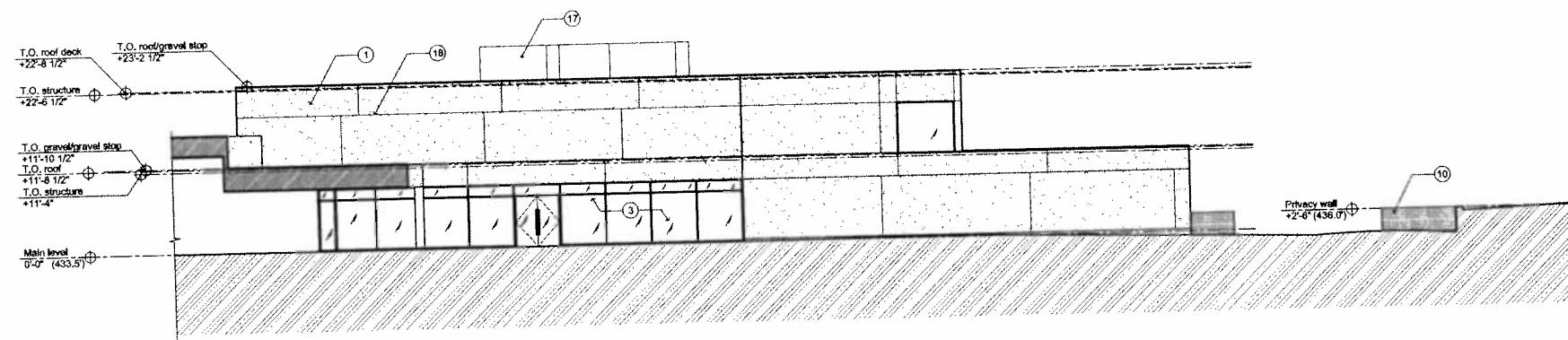
[illegible]

**Kol Shalom
Synagogue**
Rockville, MD

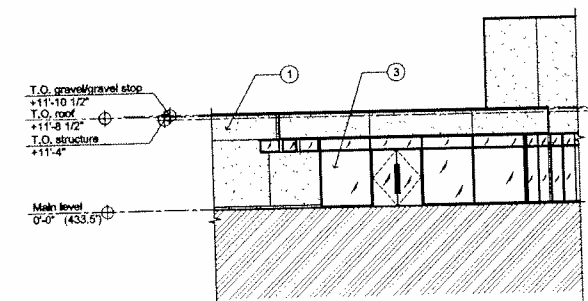
Pre-Application Meeting Submission

A3.1

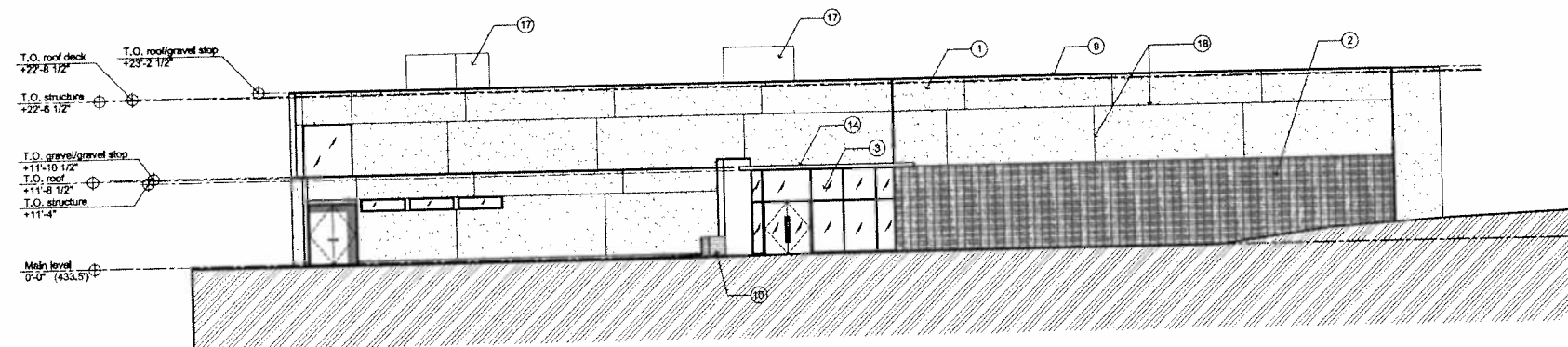
ELEVATIONS



2 WEST ELEVATION - SOCIAL HALL
3/32" = 1'-0"

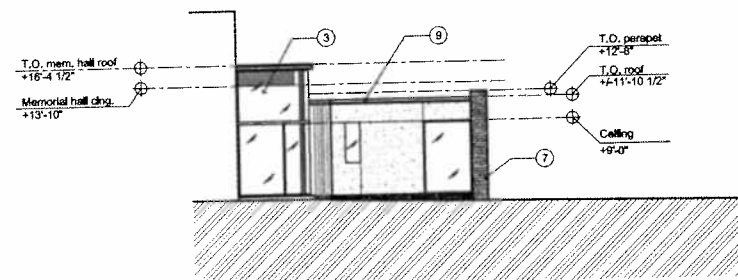


1 SOUTH ELEVATION - MEMORIAL HALL
3/32" = 1'-0"

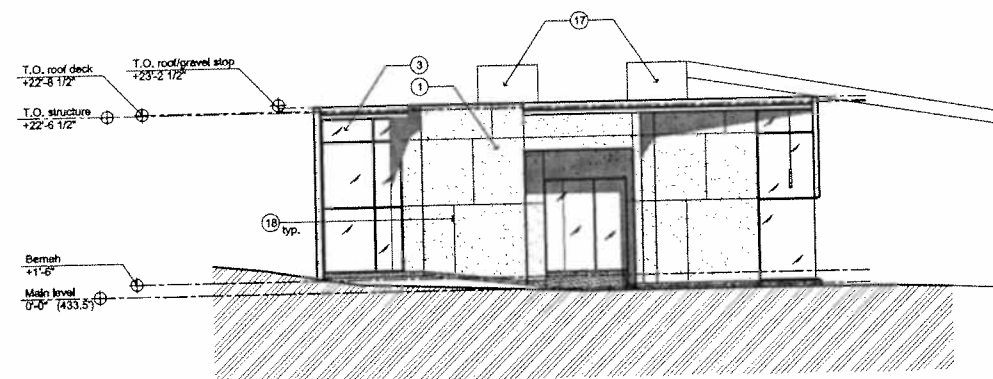


3 SOUTH ELEVATION - SOCIAL HALL/SANCTUARY
332' x 110'

- 1 Stucco system with integral weeps and building paper on plywood substrate.
- 2 Steel trellis for growing evergreen vines; "green screen". Green screens will be structurally independent of main building structure.
- 3 Stucco/iron system, typical of all window openings.
- 4 Memorial hall clere-story constructed of stucco/iron components, typical.
- 5 Metal-clad main entry place w/ overhang for protection from weather.
- 6 Stucco/iron system with built-glass detail.
- 7 Masonry veneer wall; combination of different precast sizes and textures w/ accent brick and accent precast retail panels.
- 8 Custom stained glass entry with stucco/iron structural components to match other building openings.
- 9 Metal coping/gravel atop.
- 10 Interlocking block CMU wall (see sheet A3.1).
- 11 Not used.
- 12 Bench.
- 13 School wing covered entry.
- 14 Steel and wood trellis.
- 15 Kitchen/service entry.
- 16 4' tall masonry landscape/garden wall.
- 17 Roof top mechanical units.
- 18 Stucco reveal line.



5 EAST ELEVATION - CHAPEL
3032' = 1:30"



4 EAST ELEVATION - SANCTUARY
3/32" = 1'-0"